

DA - Stage 4 & 5 - Sheet List

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DA-45-101/B	STAGE 4&5 - BASEMENT 2	B1 & A3
DA-45-102/B	STAGE 4&5 - BASEMENT 1	B1 & A3
DA-45-103/B	STAGE 4&5 - GROUND LEVEL	B1 & A3
DA-45-104/B	STAGE 4&5 - LEVEL 1	B1 & A3
DA-45-105/B	STAGE 4&5 - LEVEL 2	B1 & A3
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DA-45-114/B	STAGE 4&5 - BASEMENT 2 SWEEP PATH	B1 & A3
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DA-45-201/B	SOUTH ELEVATIONS	B1 & A3
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DA-45-203/B	STAGE 5 - EAST ELEVATION	B1 & A3
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DA-45-205/B	STAGE 5 - WEST ELEVATION	B1 & A3
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DA-45-601/B	STAGE 4&5 - ENVELOPE CONTROL	B1 & A3
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DA-45-604/B	STAGE 4&5 - Amenities Sheet 2	A3 Only
DA-45-605/B	STAGE 4&5 - Amenities Sheet 3	A3 Only
DA-45-606/B	STAGE 4&5 - Amenities Sheet 4	A3 Only
DA-45-607/B	STAGE 4&5 - Amenities Sheet 5	A3 Only
DA-45-608/B	STAGE 4&5 - Amenities Sheet 6	A3 Only

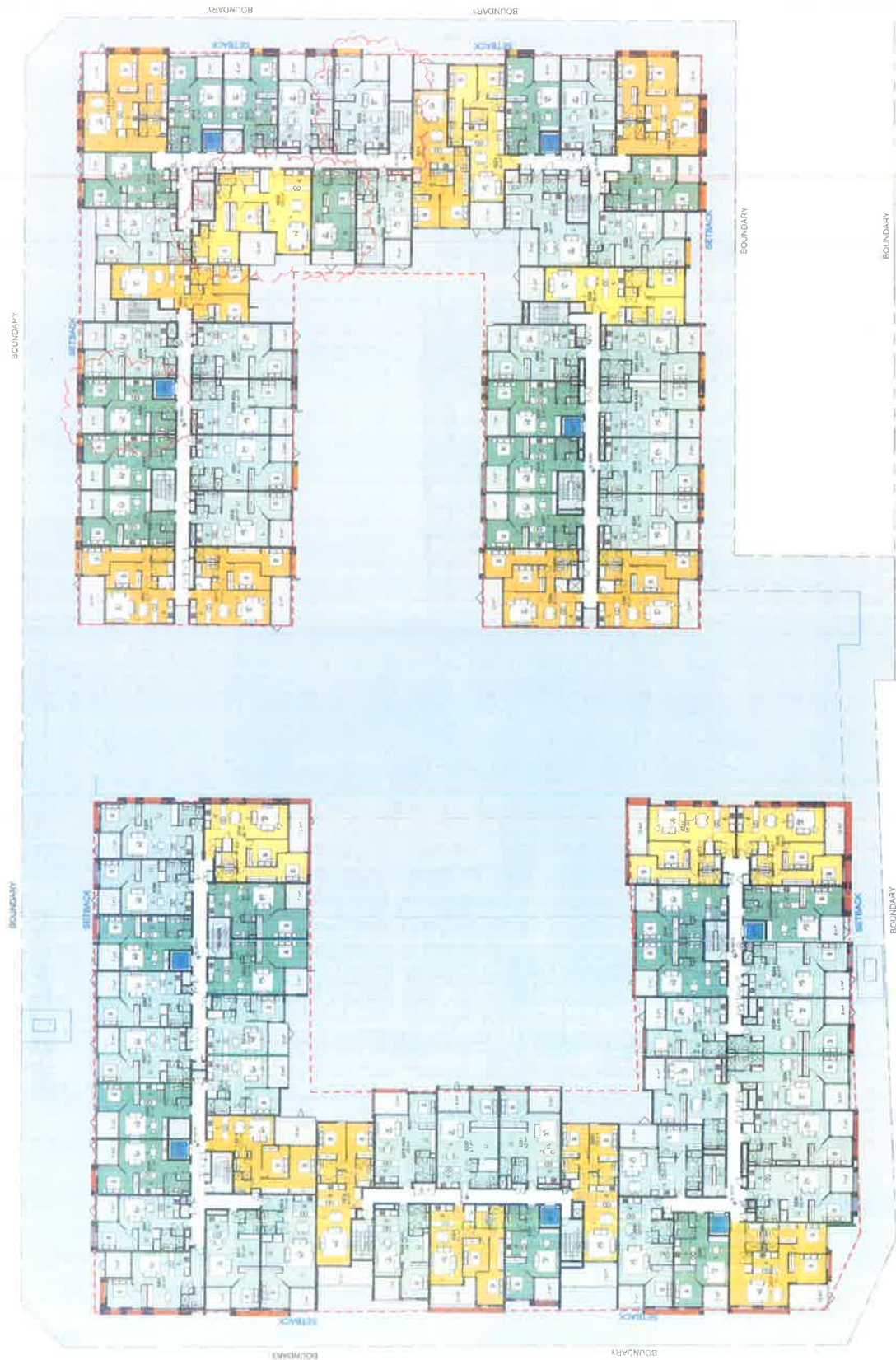
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Type	Count	
P4&5 Basement 1		
Single Spaces	18	
Double Spaces	18	
Visitor Spaces	18	
Visitor Spaces	18	
P4&5 Basement 2		
Single Spaces	3	
Double Spaces	3	
Visitor Spaces	3	
Visitor Spaces	3	
P4&5 Basement 3		
Single Spaces	100	
Double Spaces	0	
Visitor Spaces	0	
Visitor Spaces	0	
Grand total	221	

Unit Mix - Stage 4 & 5		Count
Type	Count	
Unit Mix - Stage 4		
1B	33	
1B+5	31	
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200B+5	12	









FLOOR BELOW FOR POP UP CALCULATION
APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE

STAGE 4&5 - LEVEL 2
 DA-45-105/B

ROBERTSON MARKS

ARCHITECT
 ROBERTSON MARKS

STAGE 4&5 - LEVEL 2
 DA-45-105/B

ROBERTSON MARKS

ARCHITECT
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STAGE 4&5 - LEVEL 2
 DA-45-105/B

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STAGE 4&5 - LEVEL 2
 DA-45-105/B

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STAGE 4&5 - LEVEL 2
 DA-45-105/B

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ARCHITECT
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STAGE 4&5 - LEVEL 2
 DA-45-105/B

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STAGE 4&5 - LEVEL 2
 DA-45-105/B



'FLOOR BELOW' FOR POP UP CALCULATION
APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE

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ROBERTSON MARKS
EST. 1988

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

DRAWING TITLE
STAGE 4&5



FLOOR BELOW FOR POP UP CALCULATION
APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE

STAGE 4 & 5
APPLICATION
Concept Plan Approval
(WP 09_0216)
DA-45-111/B



TRUE NORTH & KEY PLAN

REVISIONS	DATE	BY	DESCRIPTION
1	12/01/2014	DA	Initial design
2	12/01/2014	DA	Revised design
3	12/01/2014	DA	Final design

NOTES
Dimensions: Dimensions to show all dimensions on site plan to corresponding construction.
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Any further construction or alterations to the design and construction are subject to further design development and change.
Design development and construction are not necessarily intended to be completed in a single stage.

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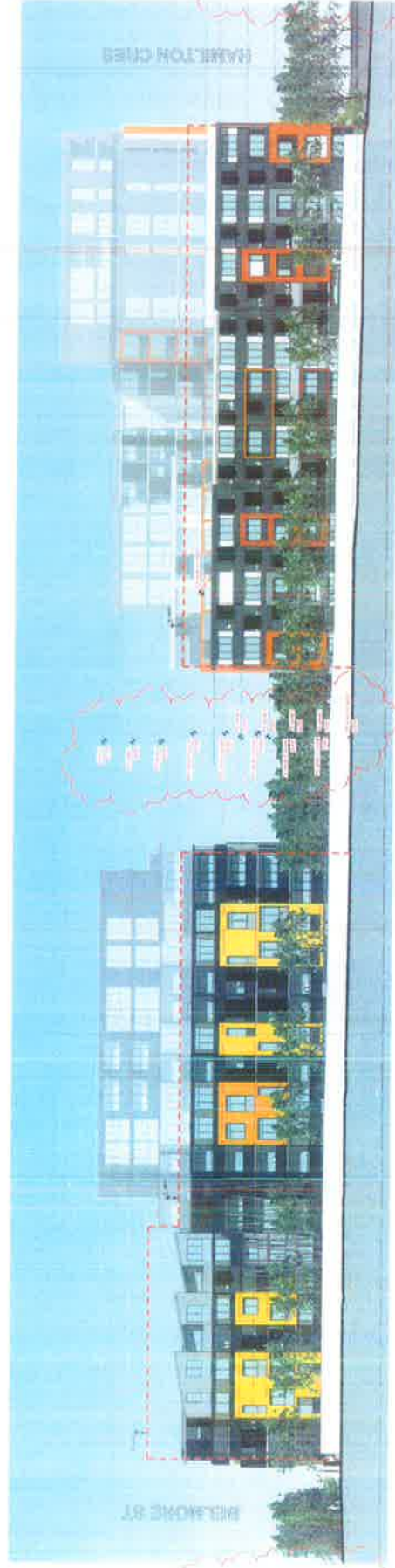
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[illegible]REVISIONS

24

DRAWING TITLE
STAGE 4&5 - LEVEL 9
SCALE 1/200 @61
DATE Dec 14, 2014
PROJECT # 100541 3

NORTH ELEVATION



STAGE 4

STAGE 5

--- APPROVED ENVELOPE
--- APPROVED 60% POP-UP ENVELOPE

DEVELOPMENT
APPLICATION
Concept Plan Approval
(WP 09_0216)
STAGE 4 & 5

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NOTES
1. The design is based on the information provided in the application and is subject to change without notice.
2. The design is based on the information provided in the application and is subject to change without notice.
3. The design is based on the information provided in the application and is subject to change without notice.
4. The design is based on the information provided in the application and is subject to change without notice.
5. The design is based on the information provided in the application and is subject to change without notice.

REVISIONS
1. 10/1/2016
2. 10/1/2016
3. 10/1/2016
4. 10/1/2016
5. 10/1/2016
6. 10/1/2016
7. 10/1/2016
8. 10/1/2016
9. 10/1/2016
10. 10/1/2016

LEGEND
1. 10/1/2016
2. 10/1/2016
3. 10/1/2016
4. 10/1/2016
5. 10/1/2016
6. 10/1/2016
7. 10/1/2016
8. 10/1/2016
9. 10/1/2016
10. 10/1/2016

PROJECT INFORMATION
Project Name: NORTH ELEVATIONS
Scale: 1/200
Date: 10/1/2016
Project Number: DA-45-2016
Drawing Number: ROBERTSON & MARKS

An architectural rendering of a modern multi-story building with a dark facade and large windows. The building is situated on a street corner labeled 'BELMONT ST' and 'HAMILTON CREEK'. Red dashed lines indicate proposed changes to the building's facade, including new window placements and structural modifications. The rendering shows the building from a low angle, emphasizing its height and the surrounding urban environment.

STAGE 4

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

HOLDMARK
NATURALHOLZ MARK
A HOLZ MARK
A HOLZ MARK
A HOLZ MARK

Abstract—The purpose of this study was to determine the effect of a 12-week, supervised, low-impact aerobically demanding exercise program on the health-related quality of life of older adults with osteoarthritis. The study was a randomized, controlled trial. The study group consisted of 20 older adults with osteoarthritis who were randomly assigned to a 12-week, supervised, low-impact aerobically demanding exercise program. The control group consisted of 20 older adults with osteoarthritis who were randomly assigned to a 12-week, supervised, low-impact aerobically demanding exercise program. The study was conducted in a community-based setting. The study was approved by the Institutional Review Board of the University of Illinois at Chicago. The study was funded by a grant from the National Institutes of Health. The study was conducted in a community-based setting. The study was approved by the Institutional Review Board of the University of Illinois at Chicago. The study was funded by a grant from the National Institutes of Health.

PROBLEM

What is the ΔG° for the reaction of 1 mole of H_2 with 1 mole of O_2 to form 2 moles of H_2O at 25°C?

DATA

ΔG°_f for $\text{H}_2\text{O}(l)$ = -237.1 kJ/mol

ANSWER

$\Delta G^\circ_{\text{rxn}} = -474.2 \text{ kJ}$

SOUTH ELEVATIONS

EAST ELEVATION

APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

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[illegible]

Synonyms

$$\text{H}_2\text{U} \cdot \text{N}^+\text{CN} + \text{S}_2\text{O}_8^{2-} \rightarrow \text{H}_2\text{U} + \text{N}_2 + \text{CO}_2 + \text{H}_2\text{O}$$

Submitting title:

STAGE 4 - EAST ELEVATION

Value: 1000000
Date: 01-01-2000
Project: 1000000

STAGE 5



EAST ELEVATION

APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE

DEVELOPMENT
APPLICATION
Concept Plan Approval
(WP 09-0216)
STAGE 4 & 5

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NOTES
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Work shown is preliminary and subject to change without notice. All dimensions are approximate.
All dimensions and levels shown are approximate.
All dimensions and levels shown are approximate.
All dimensions and levels shown are approximate.
All dimensions and levels shown are approximate.

REVISIONS
1. 01/10/2014
2. 01/10/2014
3. 01/10/2014

STAGE 5 - EAST ELEVATION
SCALE: 1/8"=1'-0"
DATE: 01/10/2014
PROJECT # 0001
DRAWING # 0001

ROBERTSON + MARKS

WEST ELEVATION

--- APPROVED ENVELOPE
--- APPROVED 60% POP-UP ENVELOPE

[illegible]

----- APPROVED ENVELOPE
----- APPROVED 60% POP-UP ENVELOPE

[illegible]

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ARCHITECT
ROBERTSON MARKS
EST. 1982

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

STAGE 5 - WEST ELEVATION

SCALE = 1/8" = 1'-0"

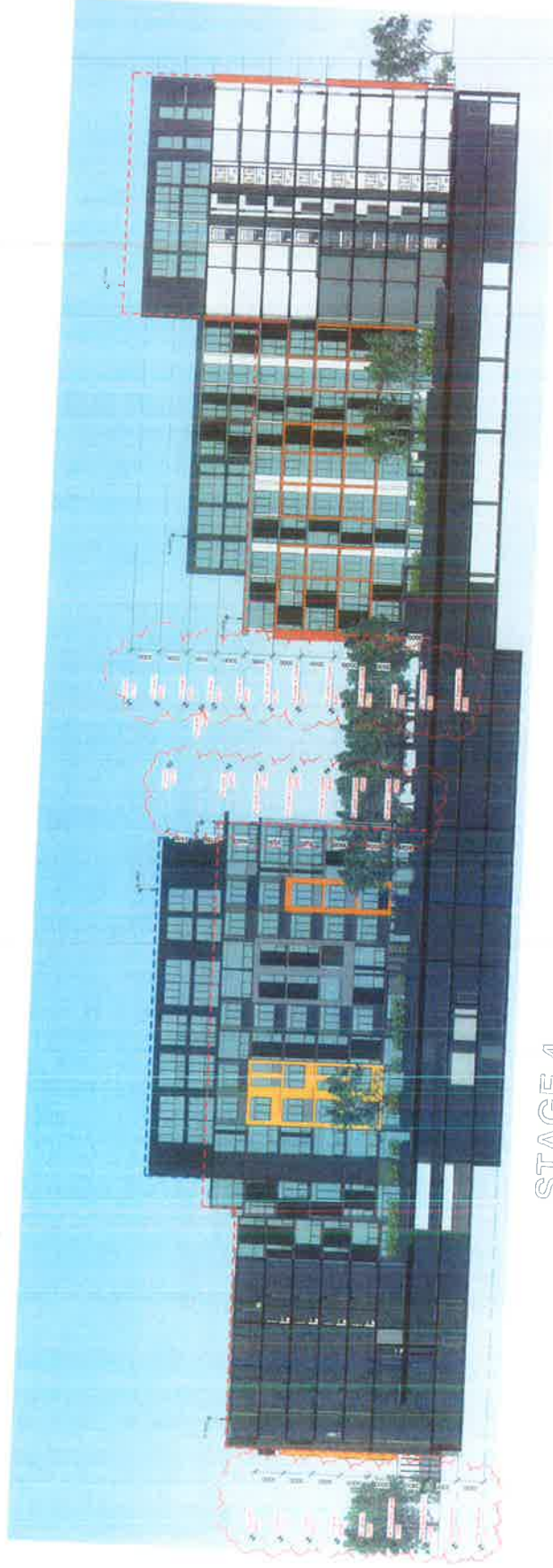
DATE: 10/20/04

PROJECT: 10040-3

Drawn by: [Signature]

DA-45-206/B

SOUTH SECTION



STAGE 4

STAGE 5

DEVELOPMENT
APPLICATION
Concept Plan Approval
(MP 09_0216)
STAGE 4 & 5

ROBERTSON MARKS
18/11/2016
Prepared by: [Name], [Title], [Address]
Reviewed by: [Name], [Title], [Address]
Project No: [Number]

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NOTES
Comments: Comments by client of design on the plan's construction and
construction from the drawing. (Use for dimensions, layout, etc. comments on design, etc.)
Revisions: Revisions to the plan and its details and for information purposes and to suggest further design developments and changes.
Leave points, if shown, as indicated only.
All dimensions and levels shown are approximate.
This document is for information only and is not to be used for construction purposes.
The client is responsible for the design and construction of the building.

REVISIONS
No. Description
1. Initial design
2. Revised design

APPROVED ENVELOPE
APPROVED 60% POP-UP ENVELOPE
TRUE NORTH
N

SECTION STAGE 4&5
SCALE: 1:100 (GND)
DATE: 18/11/2016
PROJECT: [Number]
Drawing Number: DA-45-301B

Shepherds Bay Urban Renewal

Landscape Development Application Stages 4 to 5

Submission for Ryde City Council

Detailed and Public Domain landscape plans

Report Issue No. HOL05 4-5
4th June 2014 Rev G

place
design
group.



ORIGINAL CONCEPT APPROVAL STAGE 4 -5

The following two pages outline our responses to all control conditions in respect of the landscape. Our responses are noted in blue below. Please do not hesitate to contact Steven Holmes at Place Design Group on 0400115751

Part B modifications

1. Provide at least one contiguous open space of a minimum of 3000 m2, to accommodate both active and passive recreational needs. The open space shall include deep soil area and receive a minimum of 2 hours of sunlight to a minimum of 50% of the area on 21 June.
The space has been allocated and includes areas for both active and passive recreation, cafe, terraces, plaza space, water features and pop jet plaza. refer to stages 4-5 DA landscape package
2. Provide a public domain plan which illustrate the proposed public domain treatment including streets and setback areas, landscaping, lighting and public and communal open space and which is in accordance with Ryde City Council's public domain Technical Manual.
The document serves as the public domain plan - please also refer to the associated road works package for the landscape.
3. Provide an integrated water sensitive urban design strategy for entire site and
A separate supporting report for WSUD strategy of overall site (15th May 2013 Rev D) his available and has been submitted.
4. Future DAs shall provide the detailed design for the upgrade of all road reserves adjacent to the development to the centre line of the carriageway, including landscaping, street trees, accessible pedestrian pathways, street lighting, cycle ways on Constitution Road and Nancarrow Avenue, and any other necessary infrastructure in accordance with the approved Public Domain Plan. Where the detailed design necessitates an increase in the width of the road reserve, building setbacks are to be increased to retain the approved setback to the road reserve alignment. The road reserve works are to be completed by the proponent prior to occupation of each stage.
Landscape details of road reserve, street trees, and pathways are contained within a separate Road package submitted for stages 1-5. The interface between road reserve and building line is included in this package.
5. Prior to commencement of construction of Project or Development Applications within the Concept Plan site, detailed documentation and specifications will be prepared for all landscape works and public space improvements. The landscaping is to be designed so that the view corridors identified on the Concept Plan are maintained.
Noted . Detailed documentation of the landscape will proceed at a later date in accordance with the conditions.
6. Include a pedestrian and cycleways plan that demonstrates that the proposed routes are both viable and integrated with Council's plans for the surrounding area.
Provided

Schedule 3

Landscaping

7. Future development Application shall include detailed landscape plans for public and private open space areas, street setbacks areas and for the landscape treatment of all adjoining public domain areas and road reserves in accordance with the approved public domain plan

We can confirm that the landscape design is acceptable and generally in accordance with the public domain guidelines. This includes the road works package (separate submission) The amenity to the streetscapes has been maximised and to this end have marginally increased the dimensions of the WSUD gardens to the road edges on Nancarrow Avenue. This to increase the effectiveness of water treatment as a result of the steep grades and to allow for the planting of a tree within the WSUD gardens. We have also increased the areas of low maintenance planting to the junction of Hamilton Crescent West and Nancarrow Avenue to improve presentation of this key area of the site.

Hardscape materials are generally in accordance with the public domain - granite, porphyry, sandstone and concrete areas. Please refer to plans

All planting is low maintenance and the general theming of tree species is in accordance with the Public Domain Guidelines. There are some changes to Nancarrow. Please refer to typical plant and tree species on page 25

All footpaths and cycleways are generally in accordance with the public domain guidelines.

8. Future Development Application shall demonstrate appropriate 'end of trip facilities' for cyclists within all non-residential developments in accordance with Council's requirement.
Noted . Details will be included at CC stage / detailed documentation.

9. Future Development Applications shall include detailed landscape plans for the embellishment of publicly accessible open space areas. These areas shall include high quality landscaping and paved areas and a variety of recreation facilities which may include BBQ's seating, water feature, grassed areas, paths, shade trees, bicycle racks and exercise equipment/ games.
Please refer to the design + details outlined in this package.

10. Future Development Application shall include detailed landscape plans which demonstrate accessible paths of travel for all persons for at least two of the north-south routes between Constitution Road and the foreshore with one of the routes including the lower riparian linear park and a second path either along the Central spine or the public pathway associated with Stage 1. Landscape plans will also include the detailed design of at least 1 north-south cycle path linking Constitution Road through the site to the existing foreshore cycleway.
This fully accessible links have been provided through the central spine between stages 2+3 , between stages 6-7 and between 8-9.

MOD 1 Stages 4 – 5.

Public Art:

Future Development Applications for stage 2 shall include an Arts and Cultural plan developed by professional public Artist including consideration of

- a. Material to be used, with particular attention to durability
- b. Location and dimension of Artwork
- c. Public art themes to respond to site history and or social , cultural or natural elements
- d. Integration into the site and surrounds
- e. Budget and funding
- f. Council's public art guide for developers.

A public Art plan has been provided by Black Beetle and is part of the submission

SEPP65 and RFDC

Future development Applications shall demonstrate that

A minimum of 25% of open space area of site is deep soil zone. The proposed landscaped areas provide sufficient deep soil in accordance with the RFDC (A minimum of 25 percent of the open space area of a site should be a deep soil zone; more is desirable. Exceptions may be made in urban areas where sites are built out and there is no capacity for water infiltration. In these instances, stormwater treatment measures must be Integrated with the design of the residential flat building.)

Deep soil planting area is 18% of open space area on stage 4-5 but additional stormwater treatment measures have been provided

CPTED and Maintenance Report The design of the public domain, landscaping and building design facilitates the achievement of CPTED principles. Prior to commencement of construction of any subsequent Project Applications CPTED Assessments will be provided. Planting near footpaths will need to be maintained on a regular basis to avoid concealment opportunities for criminals who may hide in dense shrubbery.

Landscape will be designed to achieve CEPTED principles such as

Natural surveillance: We intend that landscape design will play an important role in Crime Prevention through Environmental Design.

The landscape is designed to

- keep surveillance and pedestrian movement in consideration
- ensure with unimpeded sightlines to all areas and especially key areas of activation
- to avoid blind spots
- to ensure lighting for appropriate surveillance and avoid shadows and glare which might put people at risk.

Natural Access Control:

The Landscape design for Meadowbank stages 4-5 utilizes the use of walkways, fences, lighting and signage to clearly guide people and vehicles to and from the entrances. The goal with this CPTED principle is not necessarily to keep intruders out, but to direct the flow of people while decreasing the opportunity for crime.

Territoriality:

The Landscape is designed to define desired movement areas, improve surveillance and delineate borders with help of change in materials, texture, planting, change in level, artwork, signage etc.

Maintenance: A Maintenance and management plan has been produced for stages 4-5 that ensures CPTED principles are met. This includes maintenance of shrubs close to paths and suitable choices if species that allow passive surveillance . particular instructions will be given to the maintenance contractor in this regard.



Page 5	Introduction
Page 6	Stage 4-5 Masterplan
Page 7	Whole of Project Landscape Masterplan
Page 8	Stages 4-5 Landscape Masterplan - Blow up Reference Plan
Page 9	Public Domain Landscape Plan Summary Stages 2-5 (Revision G)
Page 10	Public Domain Landscape Details (Revision G)
Page 11	Apurimant access diagram Stage 4-5 (Revision G)
Page 12	Formal Entry Avenue Hamilton Crescent
Page 13	Stage 4-5 Landscape Precinct (Revision G)
Page 14	Constitution Road and Belmont Street Streetscape
Page 15	Stage 4-5 Detailed Plan and Section (Revision G)
Page 16	North East Apartments
Page 17	Stage 4-5 Detailed Plan and Section Location Internal Courtyards (Revision G)
Page 18-20	Stage 4-5 Sections (Revision G)
Page 21	Typical Front Fence - Plan and Elevation (Revision G)
Page 22	Substation Stage 4 (Revision G)
Page 23	Substation Stage 5 (Revision G)
Page 24	Perspectives - Central Pavilion Structures (Revision G)
Page 25	Perspectives - North East Apartments
Page 26	Indicative character images
Page 27	Lighting Strategy (DCP 4.1.7 Safety, Controls 'c')
Page 28	Street Lighting Stages 2-5 (Revision G)
Page 29	Public Art Strategy (DCP 4.1.6 Street furniture & Public Art)
Page 30	Furniture Strategy (DCP 4.1.6 Street furniture & Public Art)
Page 31	Site wide Streetscapes
Page 32	Streetscapes Materiality
Page 33	Indicative Planting Philosophy Streetscapes
Page 34	Stage 4-5 softscape palette
Page 35	Indicative Planting Schedule Stewide
Page 36	Hardscape materiality
Page 37	Meadowbank street tree master plan
Page 38	Pedestrian and Cycleway Routes
Page 39	Maintenance Schedule
Page 40	Appendix A - Grading Plan Hamilton Crescent West (Revision G)
Page 41	Appendix B - Grading Plan Constitution Road (Revision G)
Page 42	Appendix C - Grading Plan Belmont Street (Revision G)
Page 43	Appendix D - Grading Plan Hamilton Crescent Avenue (Revision G)
Page 44	Appendix E - Grading Plan Stages 4-5 (Revision G)
Page 45	

Note

Contents pages highlighted in red refer to changes to DA Submission, 4th June, 2015 (Revision G)
All other pages in black refer to previous Revision F with minor changes

Relevant DCP references to control document

Ryde (DCP 2011)

DCP 2011, 3.1 Analysis

DCP 2011, 4.12 Public Domain Access & Pedestrian Cyclist Amenity

DCP 2011, 4.15 Landscaping & Open Space

DCP 2011, 4.205 Private & Communal Open Space

DCP 2011, 4.2.6 Residential Amenity

DCP 2011, 5.3 Precinct 1 - waterfront

DCP 2011, 5.2 Precinct 2 'Constitution Road'

DCP 2011, 5.4 Precinct 1 - Church Street

Relevant Public Domain References to Control Document

City of Ryde Public Domain Technical Manual

5. Meadowbank (5.1 & 5.2)

This document outlines the proposed Landscape DA for the Shepherds Bay Stages 4+5, to be read in conjunction with the Major Project Concept Plan Application for the Shepherds Bay residential development.

The project represents an opportunity to bring about positive change in current residential design trends by celebrating and bringing to life both the natural landscape and rich cultural history of the site in the landscape of the new development. It will also ensure that the Shepherds Bay site Landscape Design meets both the Proponents vision for the site and Council's planning objectives, long term objectives and area specific Public Domain Manual.

The landscape design incorporates solutions that reflect the image and character of the Shepherds Bay Site as a fully integrated residential / parkland environment reflecting both the history and culture of the site. Water usage, recycling and movement are a key part of this history and will be reflected throughout the landscape design. The landscape design will draw upon a rich and varied site history- the aim to enhance and create a culturally significant landscape setting that transcends past and present. In this way the landscape will serve to educate visitors and residents whilst enhancing the sense of place and creating a unique identity for Shepherds Bay.

The enjoyable and safe interaction between visitor, resident and the Water Sensitive Urban Design initiatives used throughout the development will be a key area of focus in the landscape.

The retention and rehabilitation of existing vegetation where possible will be combined with an innovative site wide planting strategy. Structured planting using both native and exotic plants is proposed. The creation of view corridors to both proposed and existing park lands and the river precinct is seen as an integral component to the landscape and urban design philosophy. There will be an increase in biodiversity through street trees, integrated WSUD and planting to both public and private areas.

The landscape design philosophy recognises, inter alia, the current trends in the new home owners demographic. It is accepted that there will be a strong trend of responding to an increased community expectation of a range of active and passive recreational uses. Pedestrian and cycle movement will be addressed to the wider landscape and surrounding communities including legible connections and cycle locking facilities.

A Holistic approach to the landscape design combined with the careful interaction of landscape & architectural elements across the site will result in a 'big picture' design creating and reinforcing the local identity, character and sense of place.

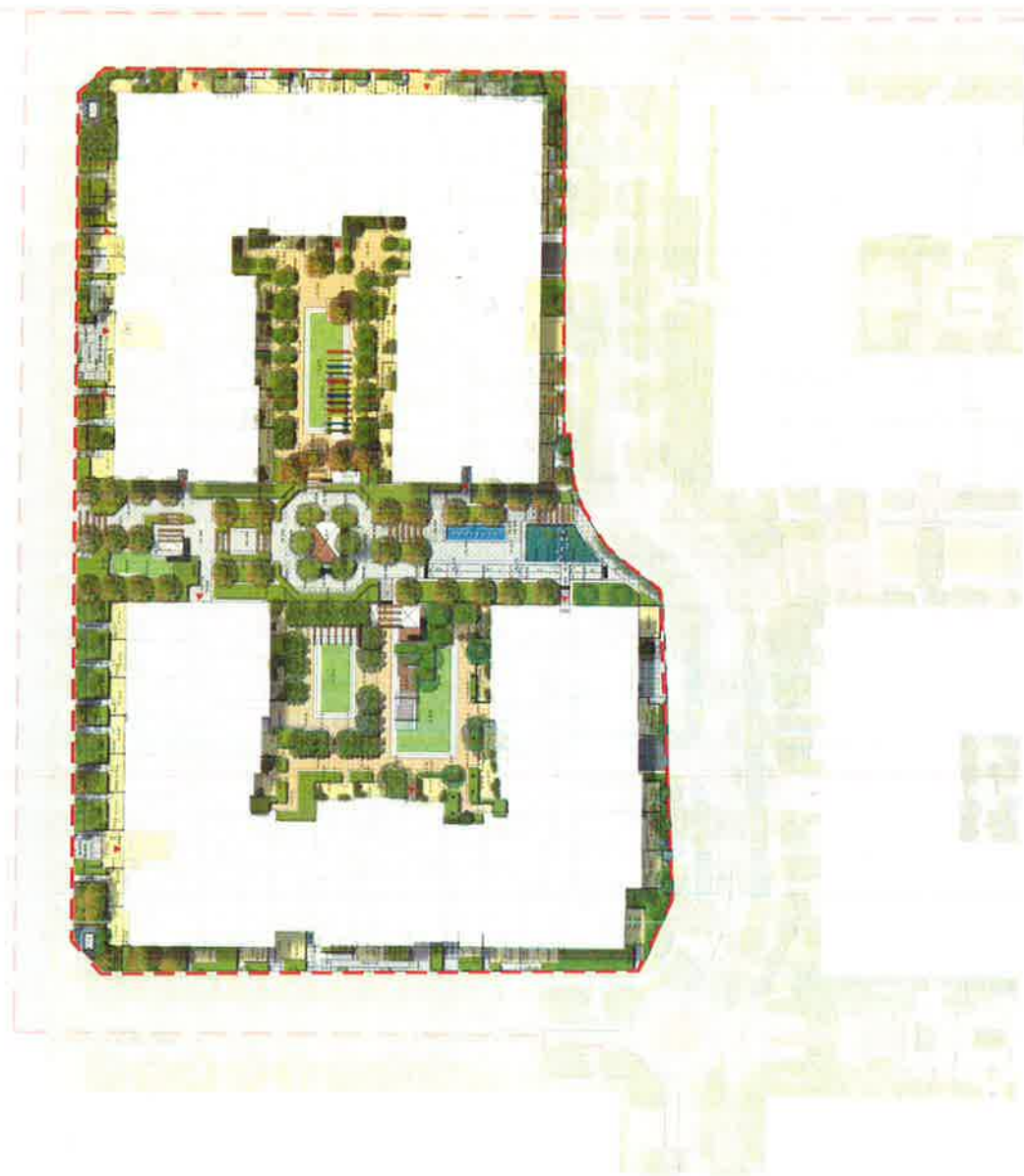
A sensitive and appropriate standard of landscape design is to be applied to the Shepherds Bay development so that the practical, aesthetic and social needs of the residents and community are realised.

Detailed design of all public domain areas are to be based on the CPTED principles for safety and security. The concept plan designs are indicative and intended as a guide to future detailed designs.





Stage 4-5 Masterplan





Lots not included in application

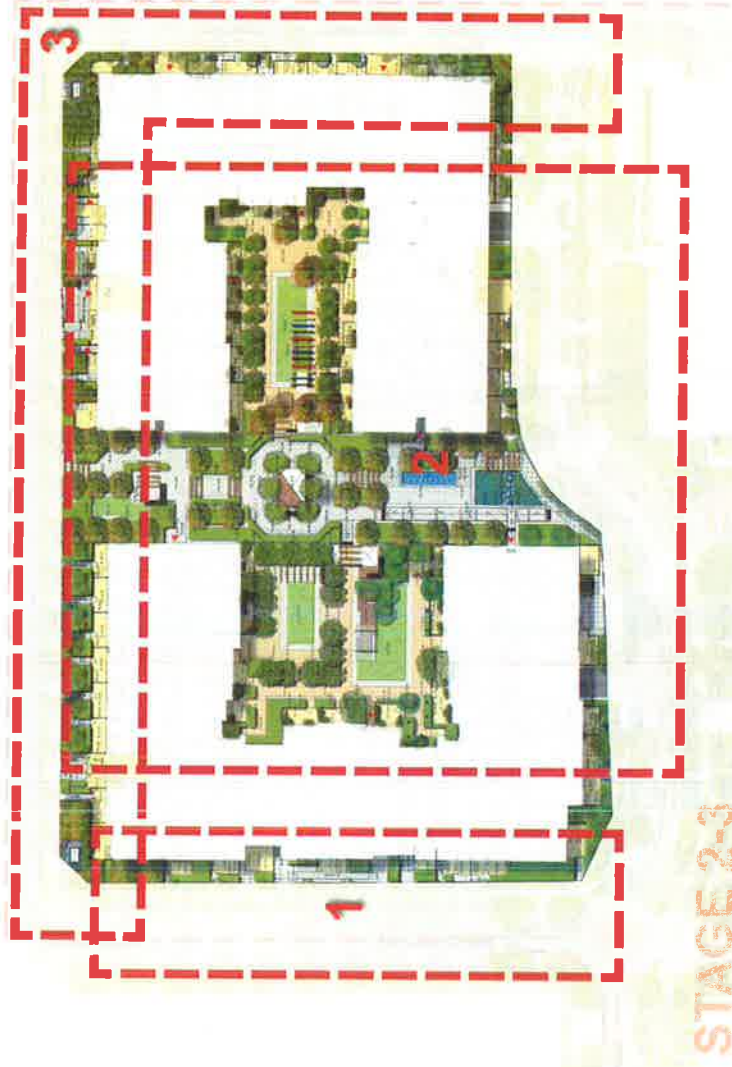
Existing Commercial Building
not included in application

Lots not included in application

Note: Overall site plan is indicative only

EL 0.00 - Existing Level
FL 0.00 - Finished Level

SCALE 1:2000 @ A3



1. Formal entry avenue
(Hamilton Crescent)
2. North east apartments
(Building 4+5)
3. Constitution rd and Belmore street
landscape treatments

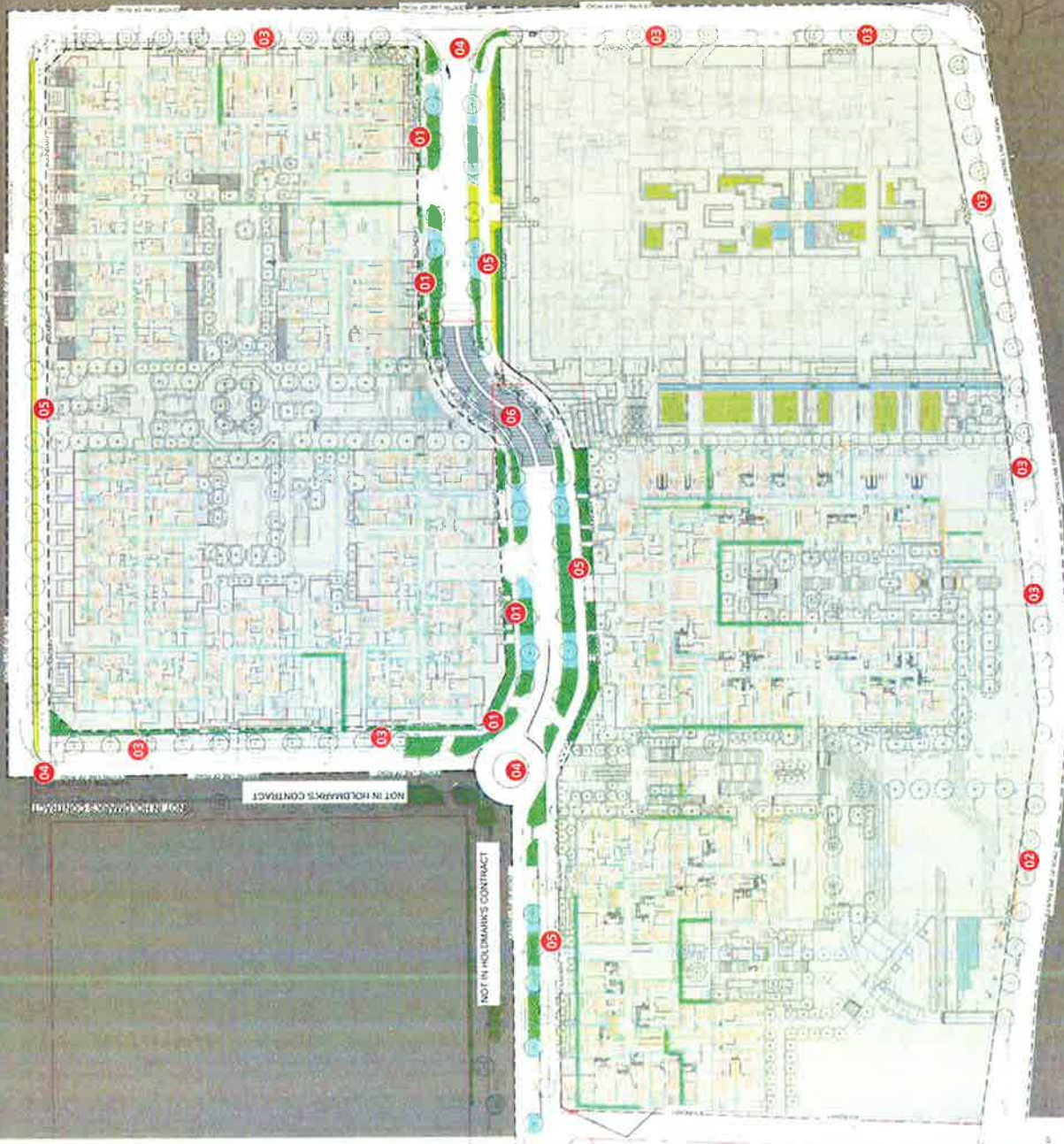


Public Domain Hardscape Plan Summary Stages 2-5

NOTE: REFER PUBLIC DOMAIN
HARDSCAPE DETAILS SHEET
FOR PAVING DETAILS

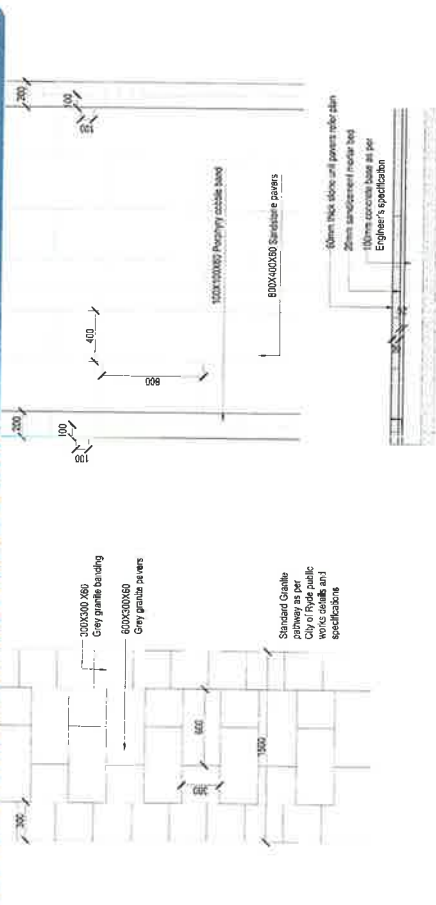
LEGEND:

- 01 1.5 M WIDE GRANITE PATH
- 02 FEATURE SANDSTONE PAVEMENT TO
ROTHSAY AVENUE (STAGE 3 PARK)
- 03 GRANITE PAVEMENT AS PER PUBLIC
DOMAIN GUIDELINES
- 04 PORPHYRY SETTS AT ROAD
THRESHOLDS
- 05 2.5 M WIDE SHARED CONCRETE
PATHWAY/CYCLEWAY
- 06 STENCILLED CONCRETE TO ENGINEER'S
DETAIL. REFER ENGINEERS DRAWINGS
BY BG&E



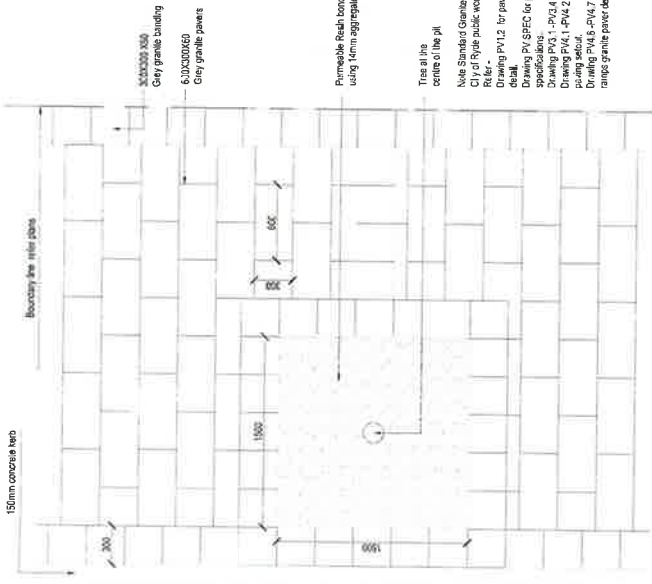


PUBLIC DOMAIN HARDSCAPE DETAILS



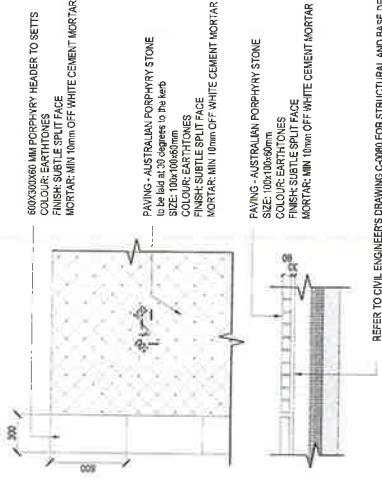
01 PAVING DETAIL - TYPICAL 1.5M WIDE PATH MANCARROW AVENUE
Scale 1:20
Plan and Section

02 FEATURE SANDSTONE PAVEMENT TO ROTHESAY AVENUE (STAGE 3 PARK)
Scale 1:20
Plan and Section



03 TYPICAL FOOTPATH PAVING DETAIL - BELMORE STREET, ROTHESAY AVENUE
Scale 1:20
Plan and Section

04 PORPHYRY SETTS DETAIL AT ROAD THRESHOLD
Scale 1:20
Plan and Section



05 SHARED PEDESTRIAN / CYCLEWAY (2.5M WIDE) - MANCARROW ROAD (SOUTH) AND CONSTITUTION ROAD
Scale 1:20
Plan

NOTE - REFERENCE DRAWINGS FOR CONTRACTOR LIST OF CITY OF RYDE PUBLIC WORKS STANDARD DETAILS (APPENDIX SHEETS REFERRING TO JOINTS, DETAILS SPECIFICATIONS FOR ALL PAVINGS)

Drawing CIV 05 for standard footway crossing details
Drawing CIV 07 for concrete standard concrete footpath details
Drawing CIV 08 for concrete standard concrete footpath details
Drawing CIV 1.1 for pavement type concrete standard detail
Drawing CIV 1.2 for pavement type granite standard detail
Drawing CIV 1.3 for pavement type granite standard detail
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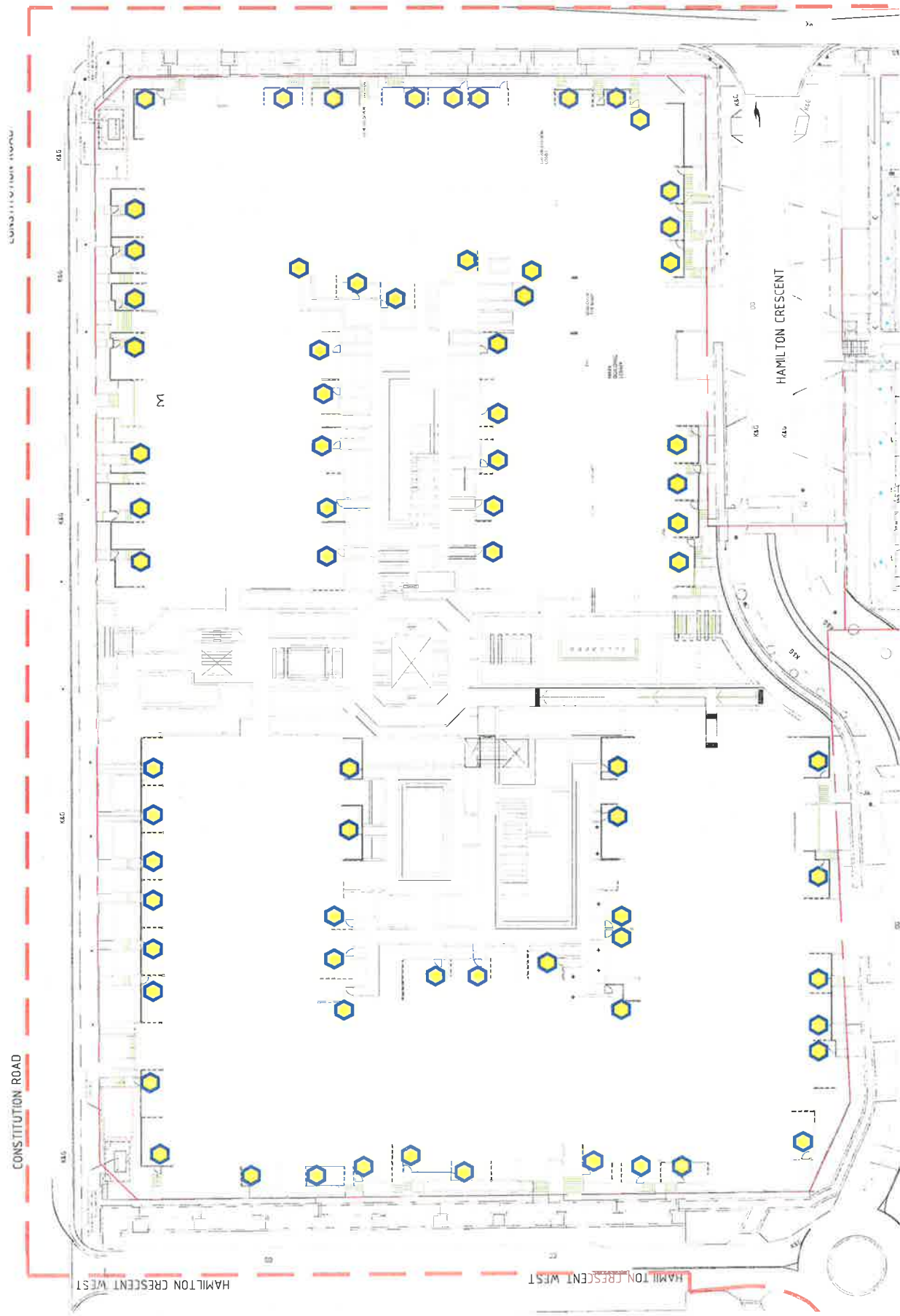


TYPICAL BOLLARD
Image

04 PORPHYRY SETTS DETAIL AT ROAD THRESHOLD
Scale 1:20
Plan and Section

05 SHARED PEDESTRIAN / CYCLEWAY (2.5M WIDE) - MANCARROW ROAD (SOUTH) AND CONSTITUTION ROAD
Scale 1:20
Plan

Apartment access diagram stage 4 and 5



Existing Private Apartment Courtyard access
connection to open space / public domain

Formal entry avenue Hamilton Crescent



Location Plan

NOTE

Road will be constructed to
centreline by Holdmark
(Complete road shown in
blowup)



Location of Iconic Public Art: Refer
to Public Art Strategy document
by Black Beetle

Car parking zone (asphalt)

Nominal 2.5 width as per Public
Domain Technical Manual

Low height planting to edge of footpath

Small deciduous trees between
built form and street

Street tree avenue planting in tree pit

Pits are 1.5m² with grey colour resin bound gravel

(Trees to be Corymba maculata as per public domain plan)

Two way entry road

(black asphalt)

Levels at upper level in accordance with

floodstudy / Engineering plan by BG&E

Mid height low maintenance

planting between road reserve

and building edge

Concrete paved disabled access

ramp to foyer

Private paved courtyards with access to

Hamilton Crescent

1.5m (min) Pedestrian path to east

of Hamilton Crescent, as per Ryde

Public Domain Plan

450 wide concrete swale plan to

engineers details / public domain

Typ 1.8m high screening fence

150mm high concrete kerb to

rear of car parking

Deep soil planting area at entry to

round-about sufficient for large trees

Area of low planting to

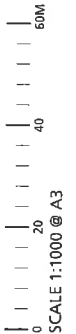
periphery to soften impact of

round-about

Round-about (Refer to

Engineer's drawings)

Stage Boundary 263 / 465



design intent

The design language for the main formal entry boulevard (Hamilton Crescent) is based around a clear use of vegetative form and hardscape materials that establish visual identity and help foster a strong sense of place. The design materials and landscape design is in align with the Ryde City Council Public Domain Technical Manual.

Principles

- Formal tree planting in avenue style
- Tree species to complement entry artwork to the north and scale of street
- Incorporate significant streetscape elements such as lighting (Smartpoles at 6m spacings) and signage according to City of Ryde Public Domain Technical Manual
- Respect site lines at entry
- Provide low and mid height planting in beds between private courtyards and public footpaths
- Grading to accommodate for 1 in 100 year flooding as per the Flood Study recommendations



Note: Also refer to appendix for detailed grading plans

Stage 4 + 5 Landscape Precinct

design intent



0 10 20 30M
SCALE 1:500 @ A3

Location Plan

Stages 4+5 landscape precinct comprises a north - south public spine with a central raised pavilion, linear water feature, native + exotic planting with a secure private formal communal open space for residents with private individual courtyards on its periphery. This spine has access for cyclists and pedestrians between Constitution Road and Nancarrow Road

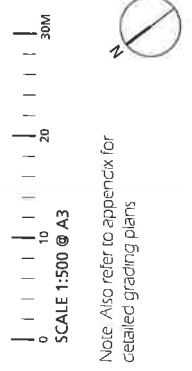
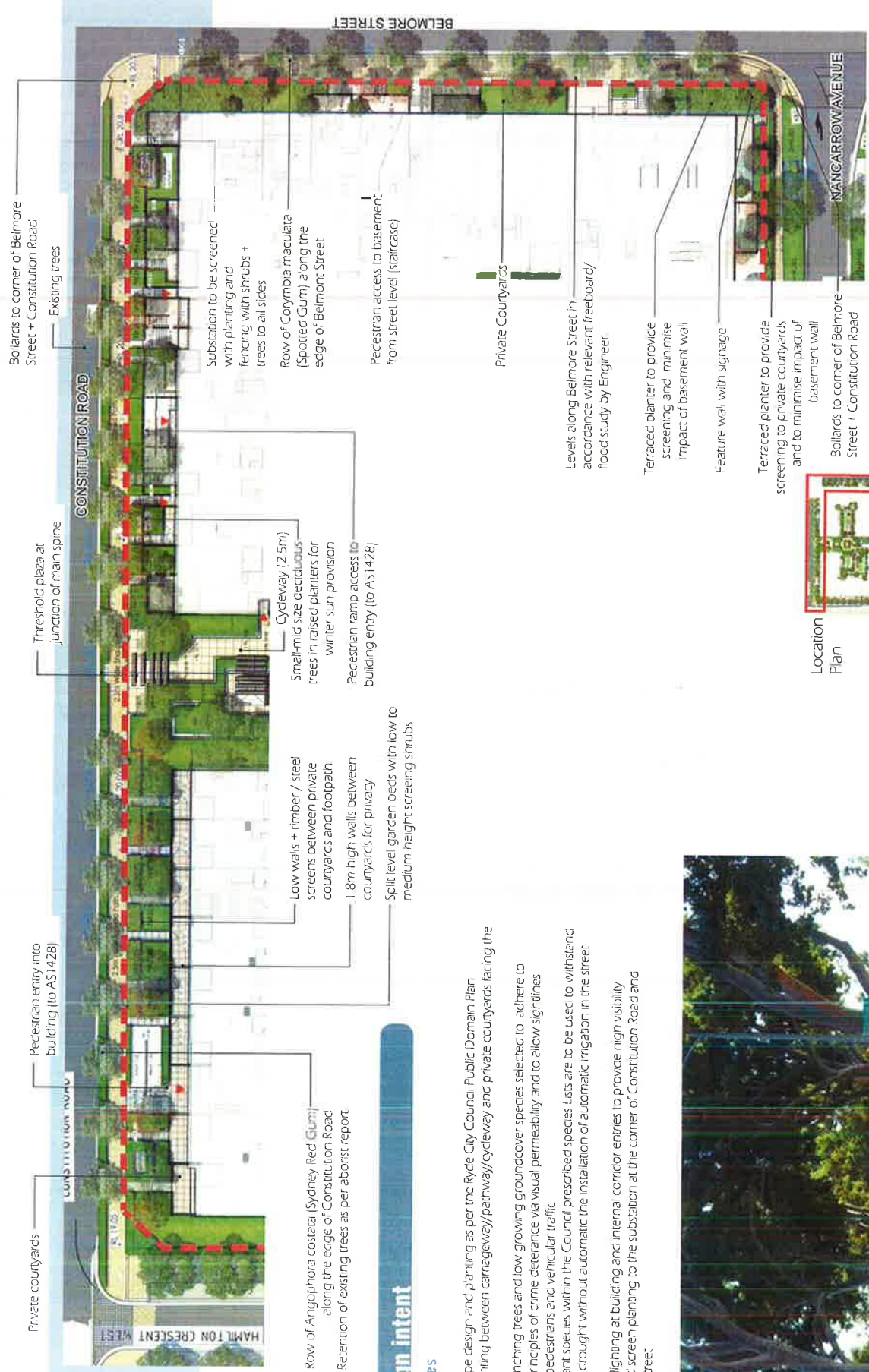
Principles

- Private and public landscape areas clearly defined
- Split level high quality landscape with planter beds raised 650 to 900mm
- Incorporate safe, open outdoor seating areas to activate the private / public precinct
- Canopy trees and low maintenance structures that comply with CPTED and provide shade & amenity in both public and private areas
- Use of deciduous trees for solar access in winter
- Split level WSUD raingarden / basin to meet WSUD requirements



Note Also refer to appendix for detailed grading plans

Constitution road and Belmore street streetscape



Note Also refer to appendix for detailed grading plans

design intent

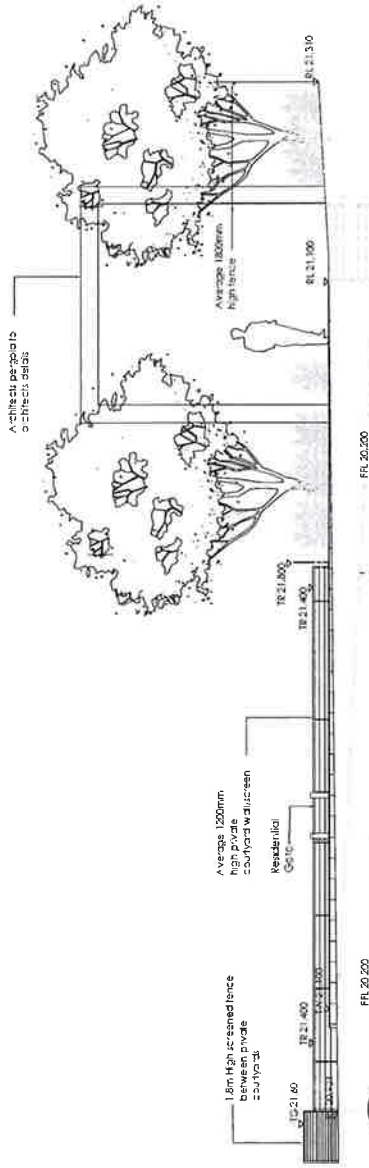
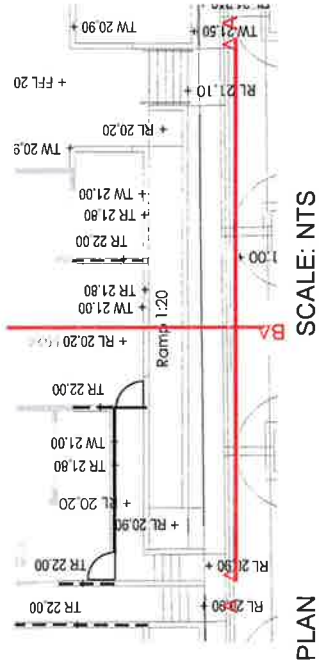
Principles

- Streetscape design and planting as per the Ryde City Council Public Domain Plan
- Mass planting between carriageway/pathway/cycleway and private courtyards facing the street
- High branching trees and low growing groundcover species selected to adhere to CEPTED principles of crime deterrence via visual permeability and to allow sightlines between pedestrians and vehicular traffic
- Hardy plant species within the Council prescribed species lists are to be used to withstand periods of drought without automatic the installation of automatic irrigation in the street corridor
- localised lighting at building and internal corridor entries to provide high visibility
- enhanced screen planting to the substation at the corner of Constitution Road and Belmore Street

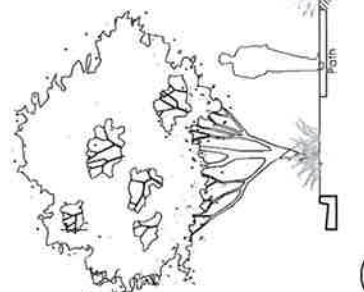


Stage 4-5 Detailed Plans and Section Lines

HAMILTON CRESCENT WEST (Stage 5)



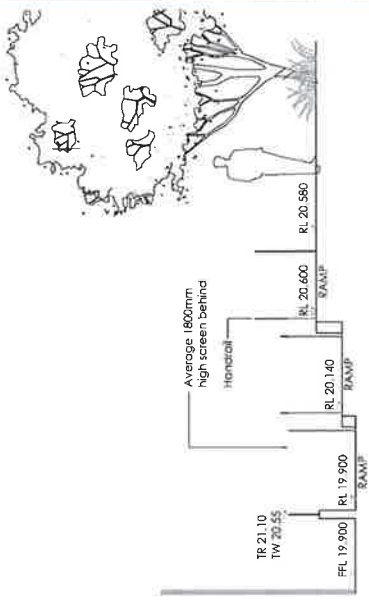
SECTION A



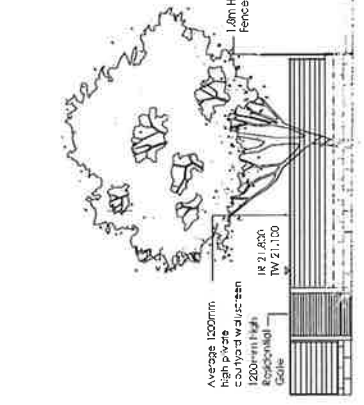
SECTION B

SCALE 1:100 @ A3

CONSTITUTION ROAD (Stage 4)



SECTION C



SECTION D

SCALE 1:100 @ A3

BS 19.502

Maintenance Schedule

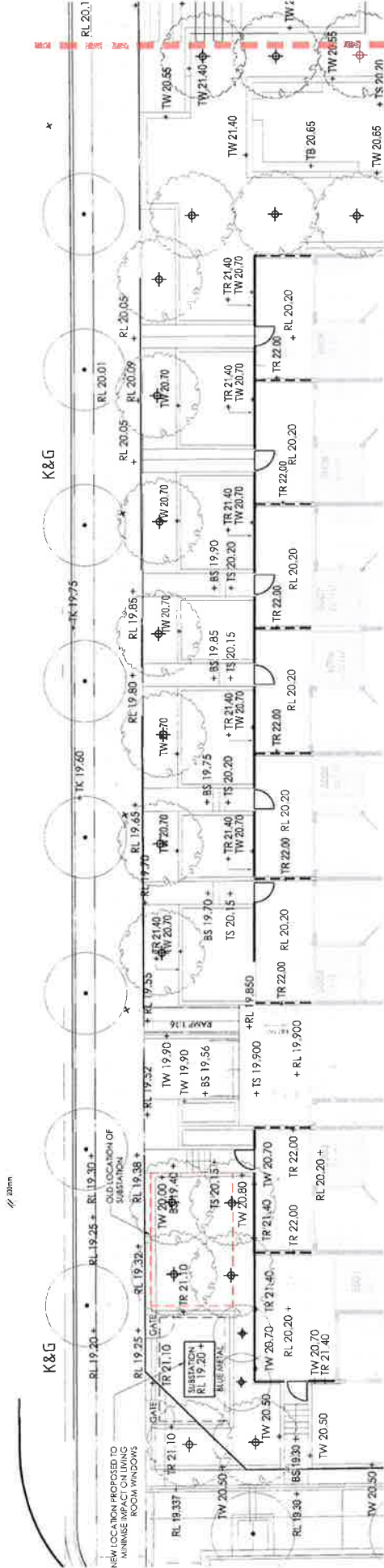
PLACE Design Group Pty Ltd MEADOWBANK STAGES 4-6 - DEVELOPER MAINTENANCE & DEFECTS LIABILITY PROGRAM & ONGOING MAINTENANCE PROGRAM				
Client:	Hudsons / Council - Ryde City Council			
Project Name:	Meadowbank Stages 4-6 (N1) Stages 4-6			
Project Name:	All site areas, open space and private gardens			
Work Description:	Maintenance of all hard landscape areas			
Maintenance Period:	12 Months from Practical Completion / Ongoing			
TASK DESCRIPTION	On Maintenance FREQUENCY: 0-12 Months	Handover / Ongoing FREQUENCY: 13-24 Months	Handover / Ongoing FREQUENCY: 25-36 Months	Handover / Ongoing FREQUENCY: 37-48 Months
General Maintenance				
Visual inspection of all areas for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Structural Maintenance				
Visual inspection of all walls for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Vegetation Maintenance				
Visual inspection of all plants for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Water Features				
Visual inspection of all water features for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Lighting Maintenance				
Visual inspection of all lighting for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
General Maintenance				
Visual inspection of all areas for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required

PLACE Design Group Pty Ltd MEADOWBANK STAGES 4-6 - DEVELOPER MAINTENANCE & DEFECTS LIABILITY PROGRAM & ONGOING MAINTENANCE PROGRAM				
Client:	Hudsons / Council - Ryde City Council			
Project Name:	Meadowbank Stages 4-6 (N1) Stages 4-6			
Project Name:	All site areas, open space and private gardens			
Work Description:	Maintenance of all soft landscape areas			
Maintenance Period:	12 Months from Practical Completion / Ongoing			
TASK DESCRIPTION	On Maintenance FREQUENCY: 0-12 Months	Handover / Ongoing FREQUENCY: 13-24 Months	Handover / Ongoing FREQUENCY: 25-36 Months	Handover / Ongoing FREQUENCY: 37-48 Months
General Maintenance				
Visual inspection of all areas for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Structural Maintenance				
Visual inspection of all walls for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Vegetation Maintenance				
Visual inspection of all plants for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Water Features				
Visual inspection of all water features for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
Lighting Maintenance				
Visual inspection of all lighting for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required
General Maintenance				
Visual inspection of all areas for damage, cracks or other imperfections	Monthly	Monthly	Monthly	Monthly
Repair any damaged or worn landscape	As Required	As Required	As Required	As Required
Check in accordance with manufacturer's recommendations	As Required	As Required	As Required	As Required

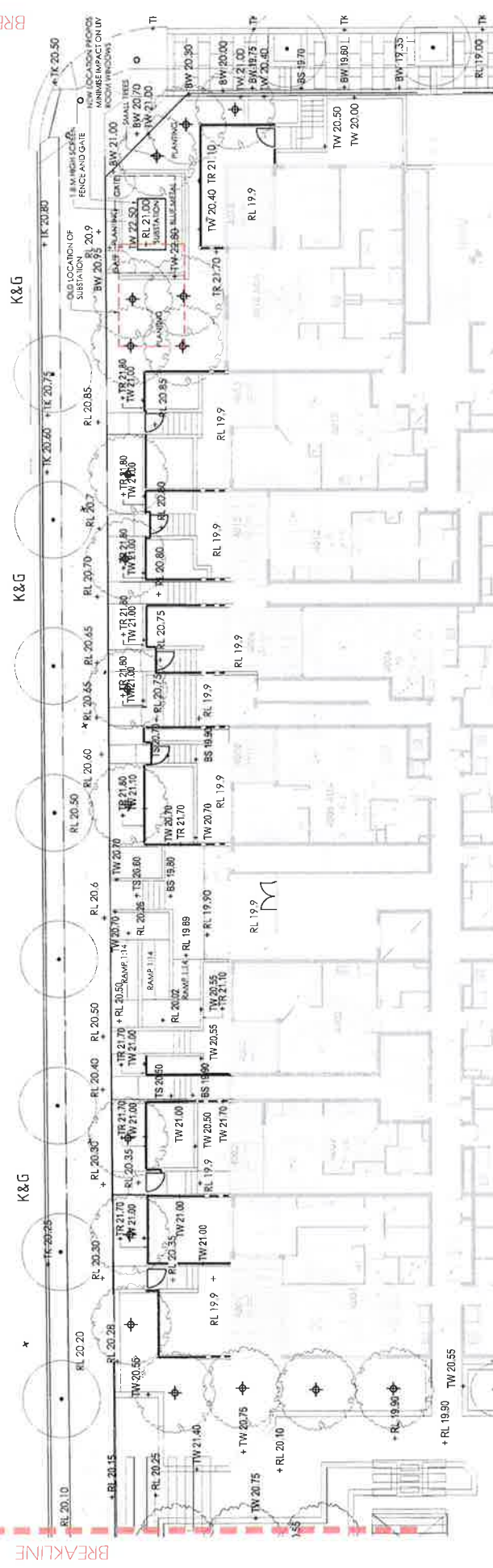
SCALE : NTS



Appendix B - Levels Constitution Road

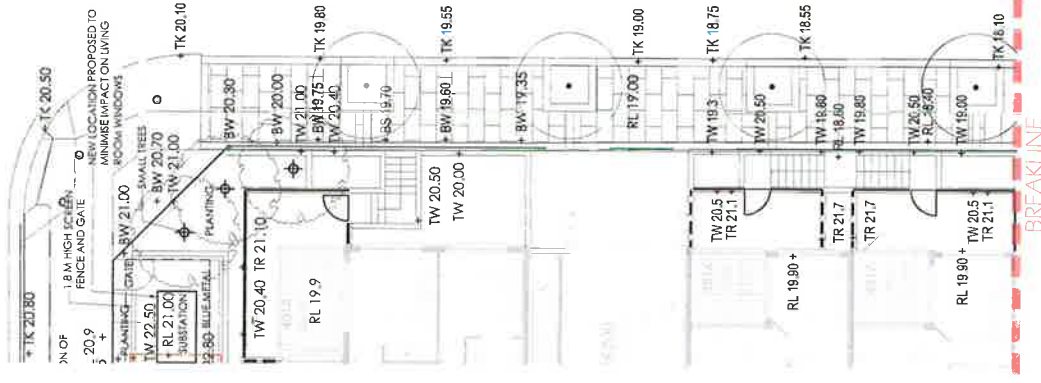


CONSTITUTION ROAD

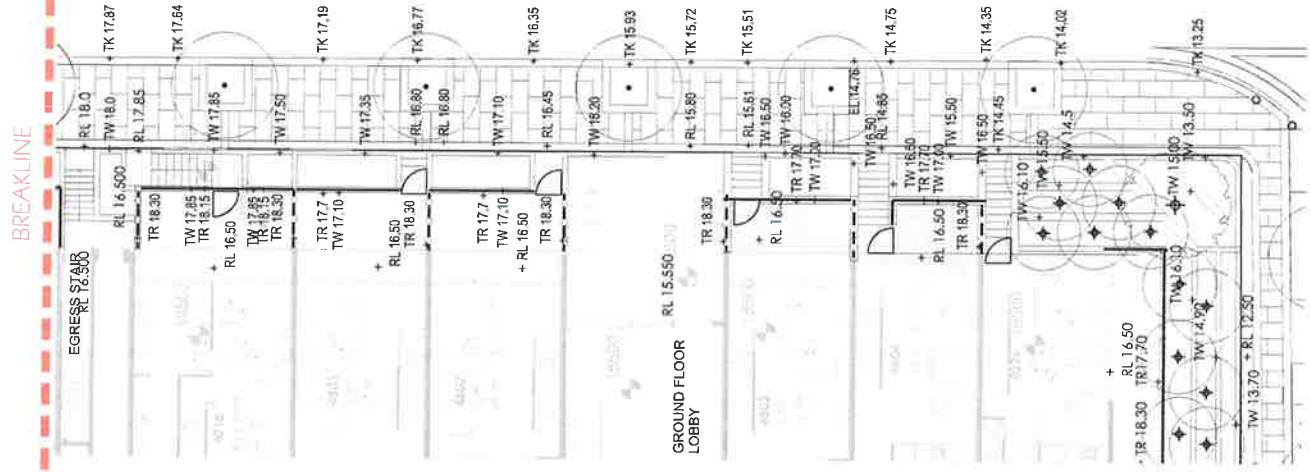




Appendix C- Levels Belmont Street



SCALE : 1:200 @ A3

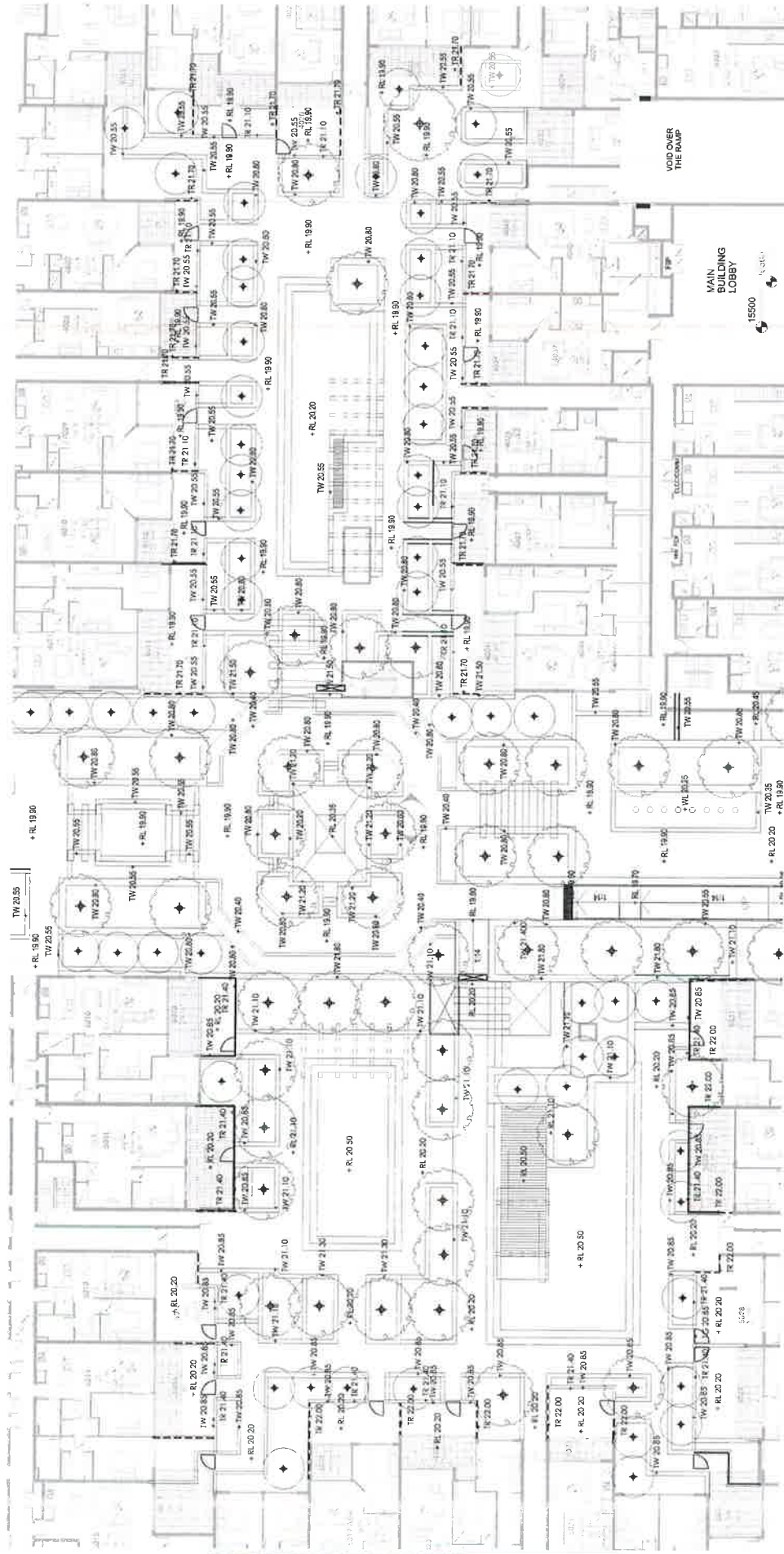


SCALE : 1:200 @ A3

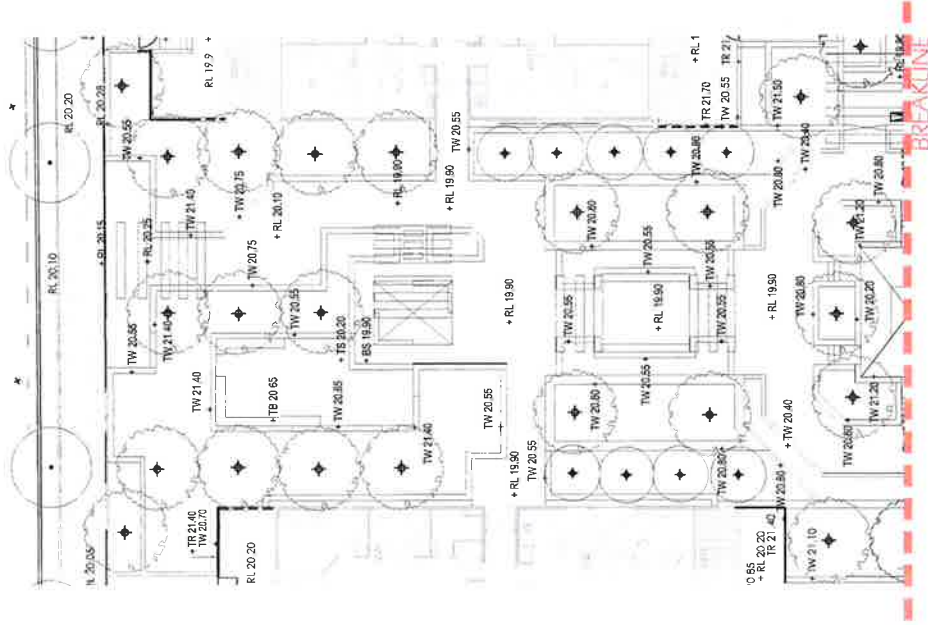


SCALE: NTS

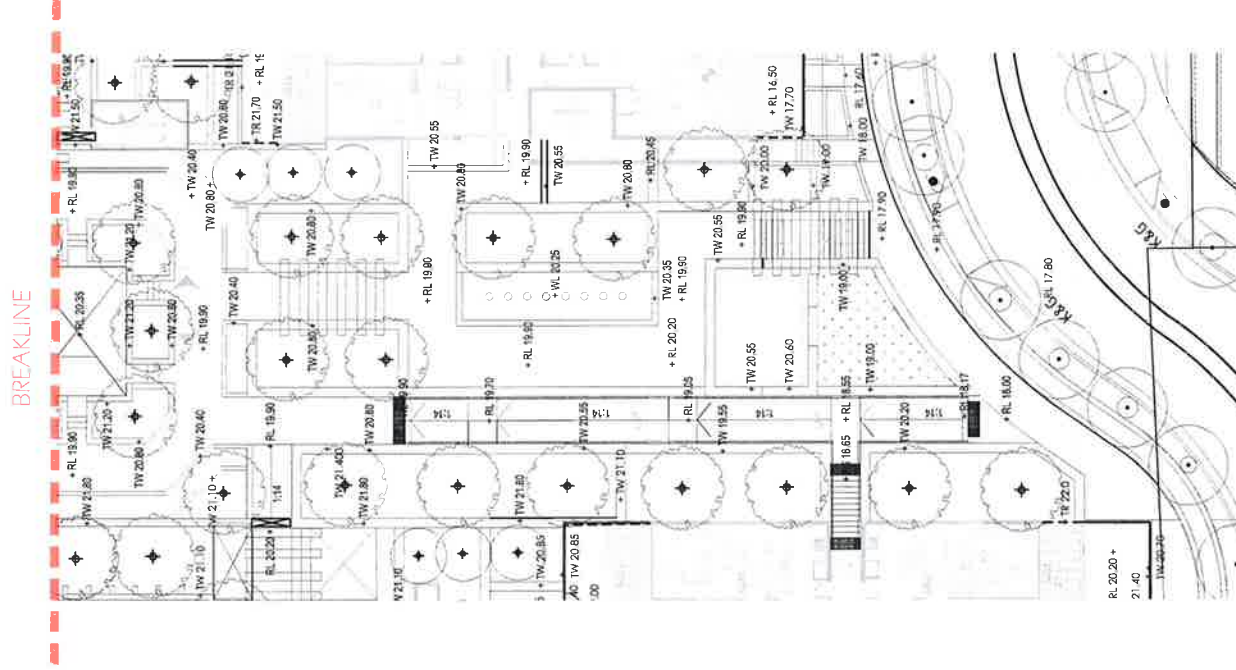
Appendix E- Levels Stage 4-5



SCALE : NTS



SCALE: NTS



SCALE: NTS

sections - north east apartments



key plan

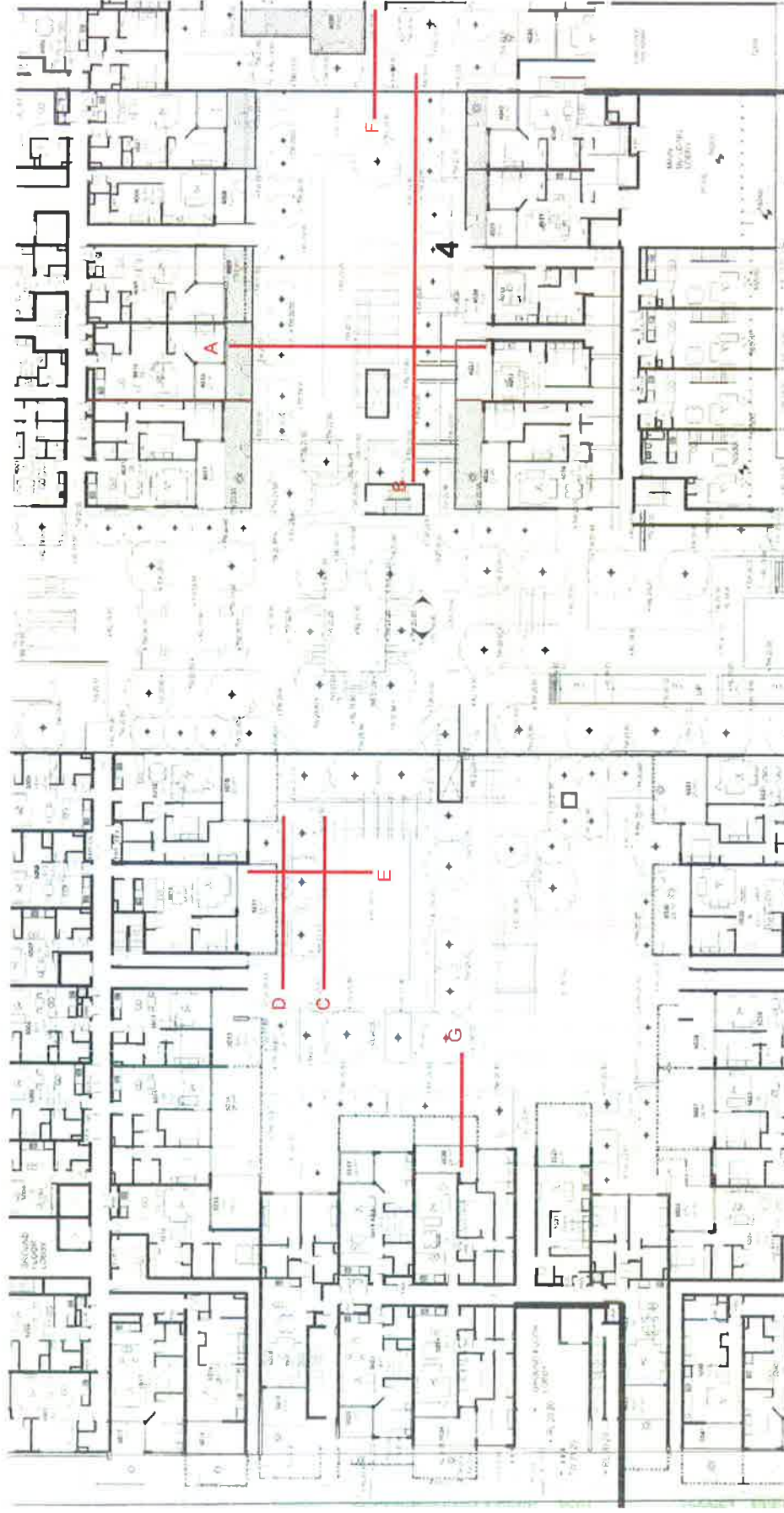


SECTION 1
1:400 @ A3



SECTION 2
1:400 @ A3

Stage 4 - 5 Detailed Plan - Section Line location: Internal Courtyards



Average: 120mm High privacy courtyard wall/green

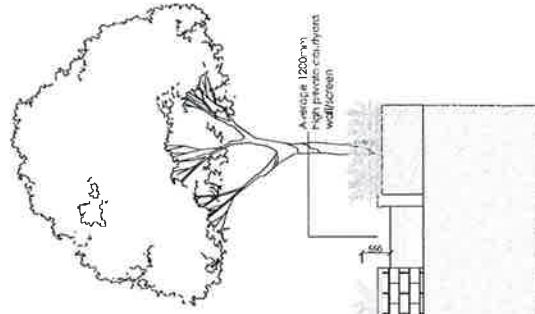
Bin High screened fence between private courtyards

Insulated planter with...

Concrete drainage pipe

Bin High screened fence between private courtyards

Average: 190mm High privacy courtyard wall/green



SECTION

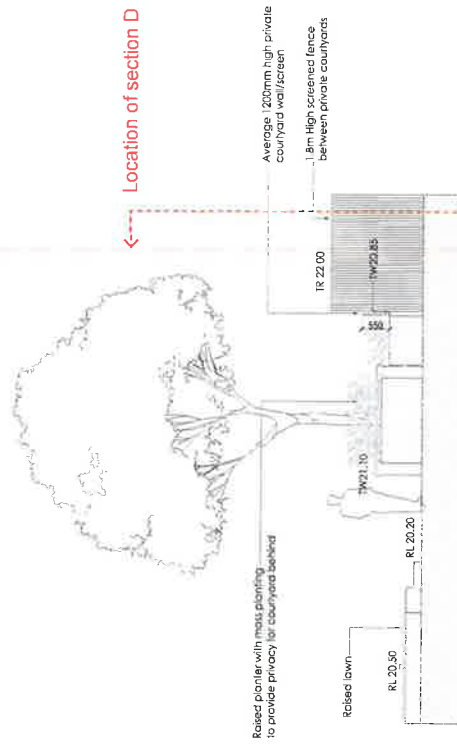
SHEPHERDS BAY - MEADOWBANK | Stages 4-5 Development Assessment Submission



SCALE 1:100 @ A3



SCALE 1:100 @ A3



Location of section D

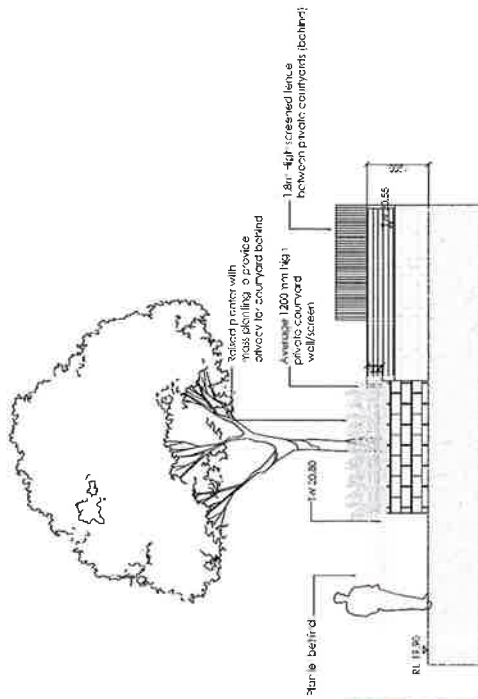
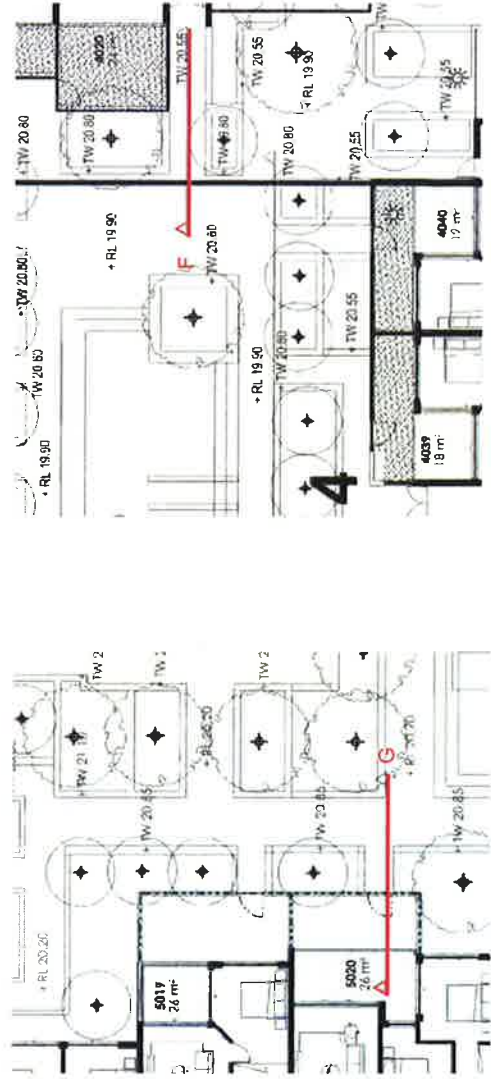
Raised planter with mass planting to provide privacy for courtyard behind.

Average 1200mm high private courtyard wall/screen

SECTION

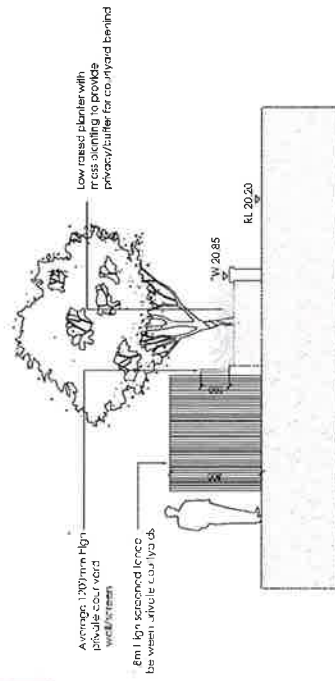
SCALE 1:100 @ A3

Stage 4- 5 Sections



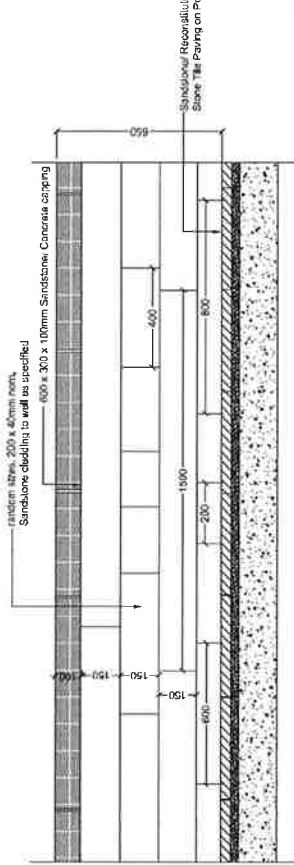
SECTION

SCALE 1:100 @ A3



SECTION

SCALE 1:100 @ A3



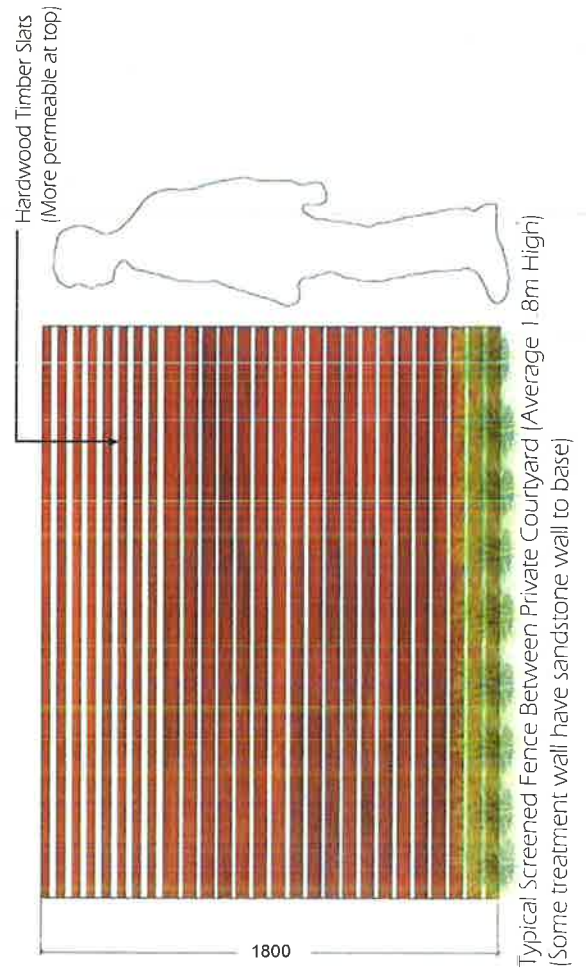
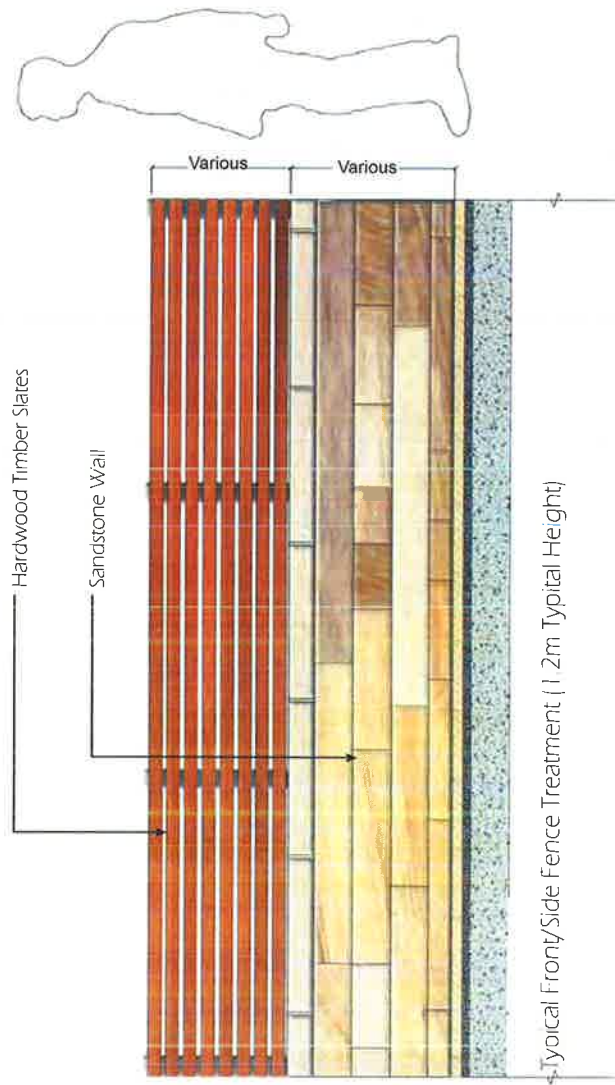
SANDSTONE WALL
DETAIL ELEVATION

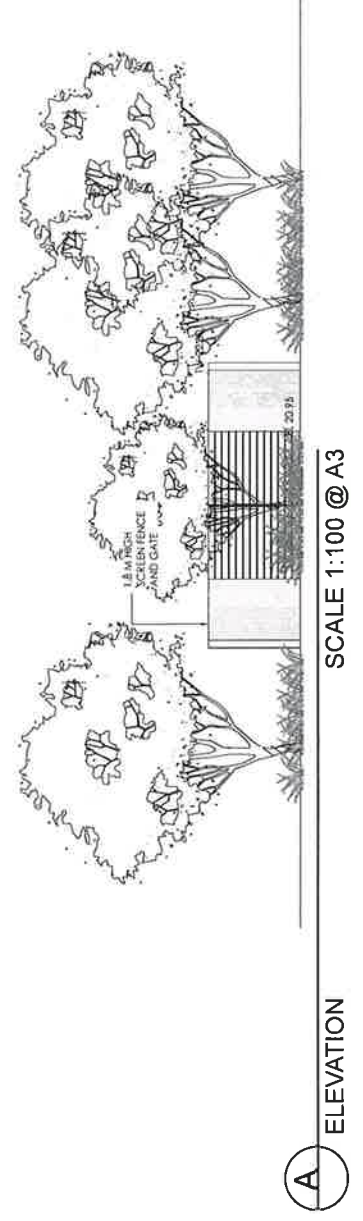
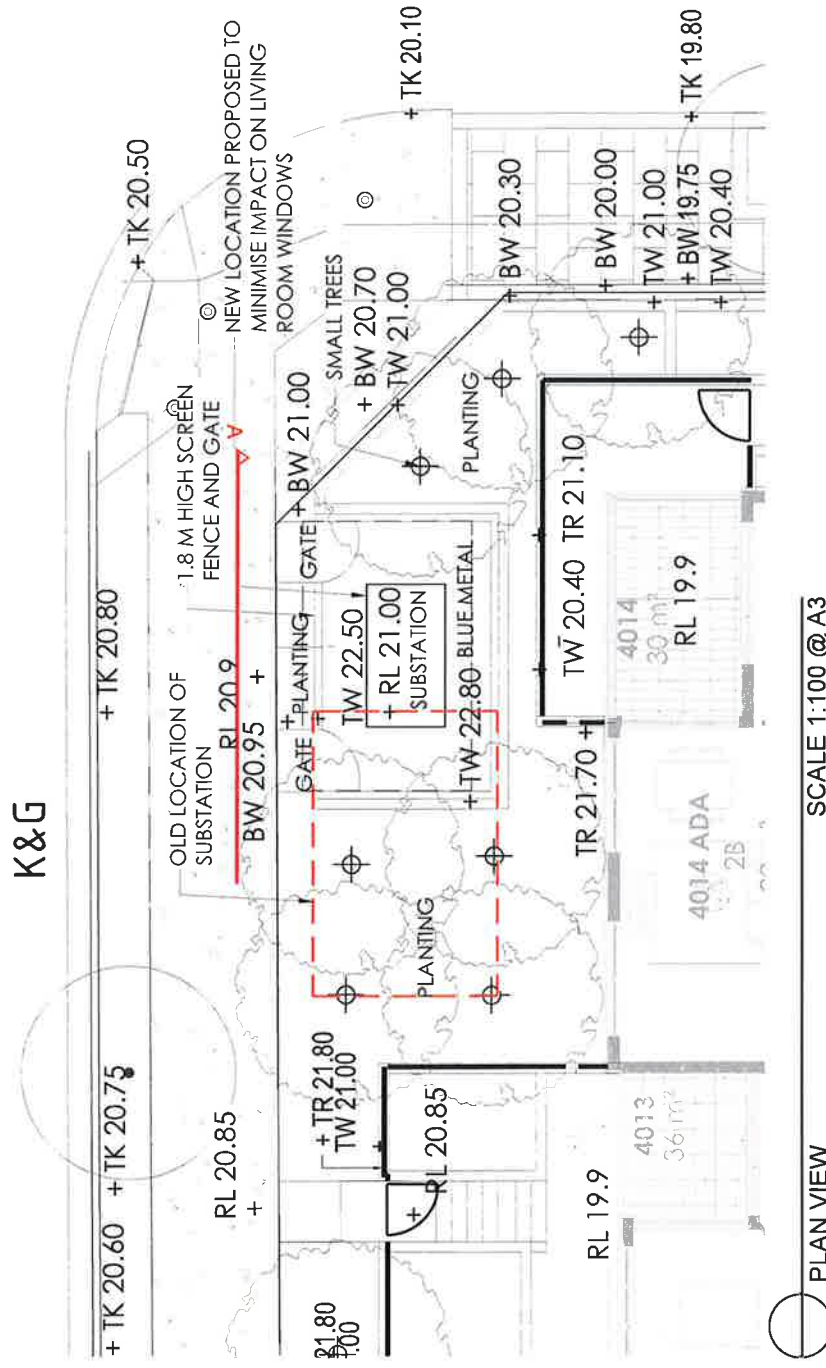
SCALE 1:20 @ A3

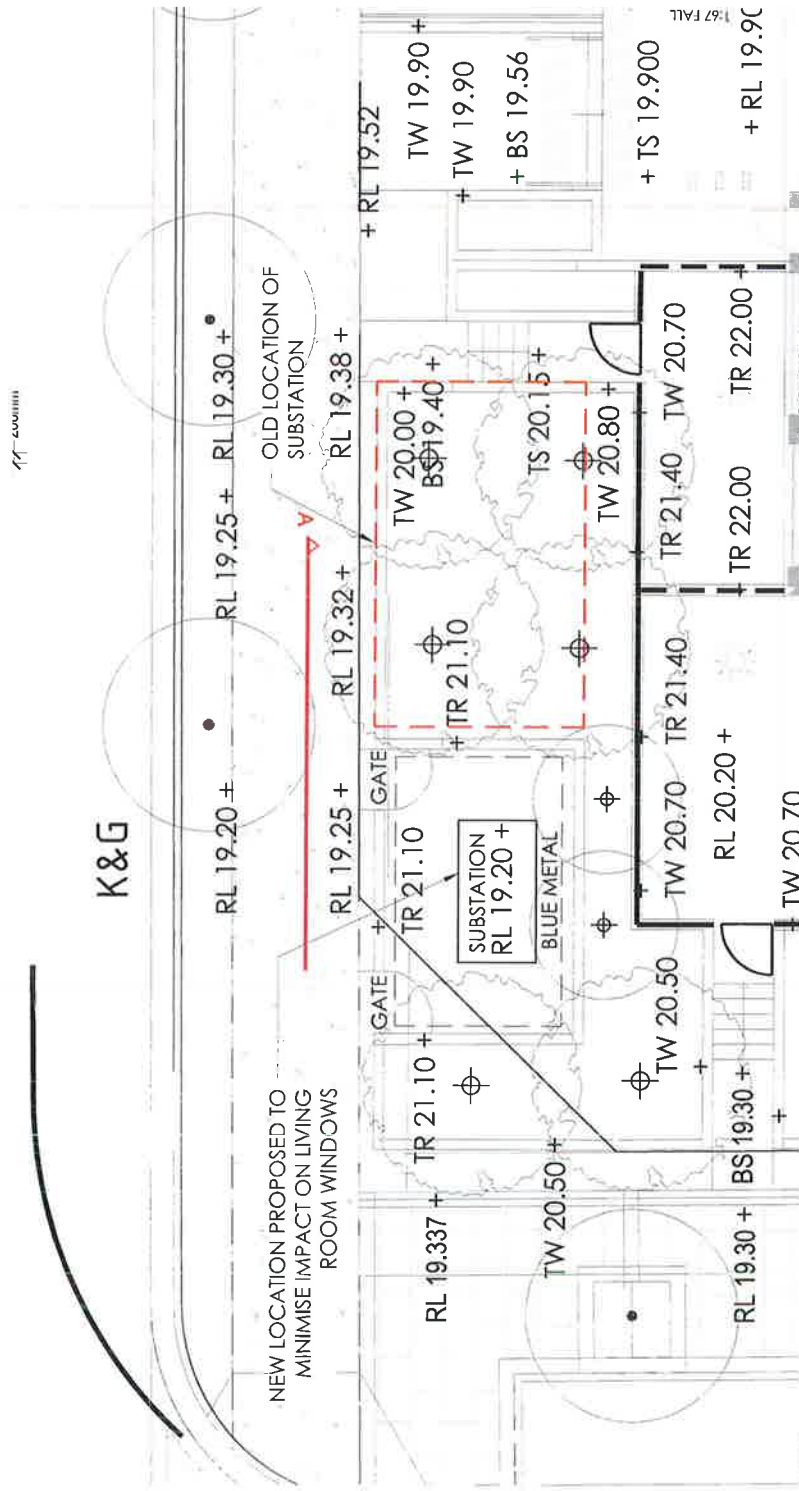


INDICATIVE IMAGE OF SANDSTONE WALL

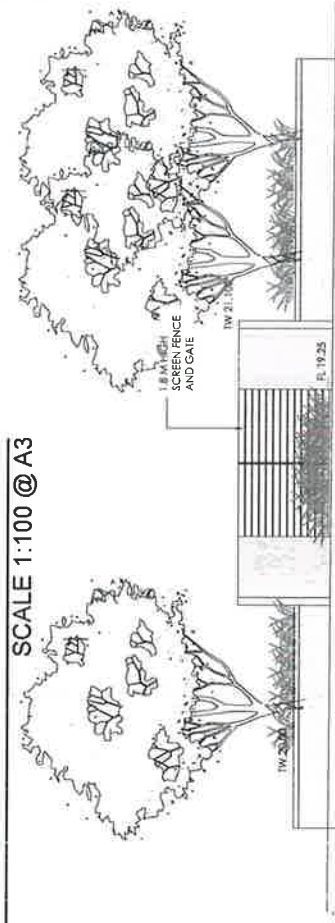
Typical Fence Treatments + Wall Treatment to courtyards - Internal + External





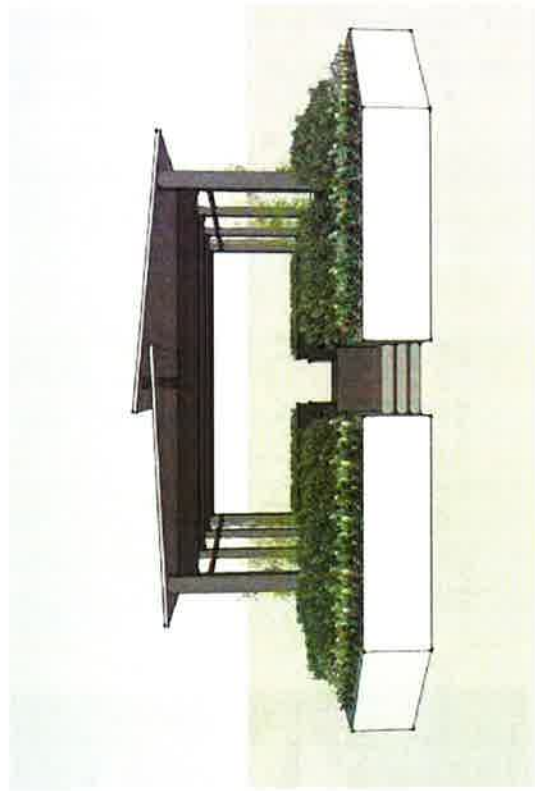


SCALE 1:100 @ A3



SCALE 1:100 @A3

Perspectives - central pavilion structures



Perspectives - central communal open space courtyards



View of shared private open space to West (looking South East access Northern Lawn)



View of shared private courtyard to East (looking South West)

Note Perspective images are indicative only intended to portray the scale of the spine

Indicative character images



LINEAR WATER FEATURE



PLANTING COURTYARD



PLANTING CENTRAL SPINE



LINEAR WATER FEATURE



CENTRAL SPINE



SANDSTONE CLADDED WALLS



LOW SEATING STEPS TO TURF



lakeview rise

SIGNAGE ELEMENTS



TIMBER + STEEL STRUCTURES



CUSTOM SEATING BENCHES TO SPINE



SCREENING + SECURITY



HERITAGE INTERPRETATION



Pedestrian & Vehicular Lighting

Street lighting

Mounted on 9.6m multifunction poles to Council approval. Finish on poles to match existing poles in Belmore Street. Poles to be provided with 1.5m banner arm, Rexel Optispan Aeroscreen luminaires complete with low loss ballasts and PE cells, and metal halide lamps



Pedestrian/park lighting

For areas such as shared bikeway/pedestrian pathways and plazas. Mounted on 4.8m Smartpoles™ or approved equivalent BEGA-808 luminaires and metal halide lamps



Solar lighting for parks (* Courtyards)

Supplier: Solar G
Pole: galvanised utility pole
Light fittings: "Streetwalker" on 1 metre outreach arm
Lamps: 2x 14W fluorescent (15 fluorescent technology, 9% lumens per watt)



* (Fittings to be reviewed with council if required)

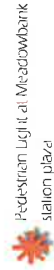
Ref: City of Ryde Public Domain & Technical Manual - 5.2



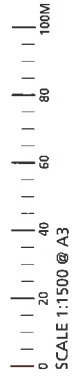
NOTE

- Additional lighting will be proposed to the private shared courtyards that will include LED Striplights, uplighting + downlighting to prevent light pollution into private courtyards and living spaces
- Lighting to all public thoroughfares will be as per the Ryde Public Domain Plan and will meet all relevant Australian Standards
- Subtle lighting proposed for all private courtyard areas

PLAN KEY



*Images sourced from the Public Domain Technical Manual



NOTE: Diagram is a strategy only, and is dependant on future detail design for specific information on products and locations

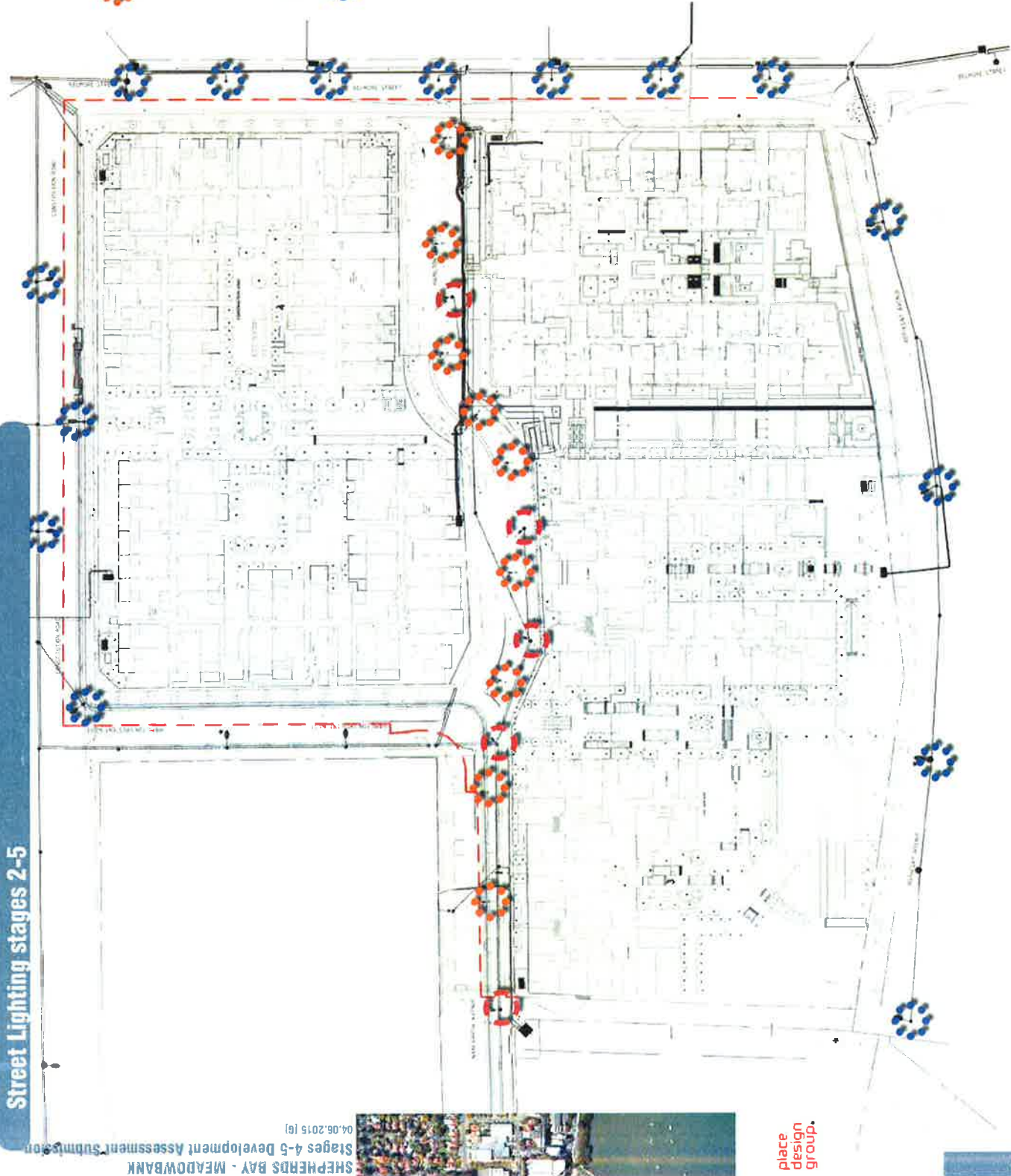
Street Lighting stages 2-5

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04.06.2015 [6]

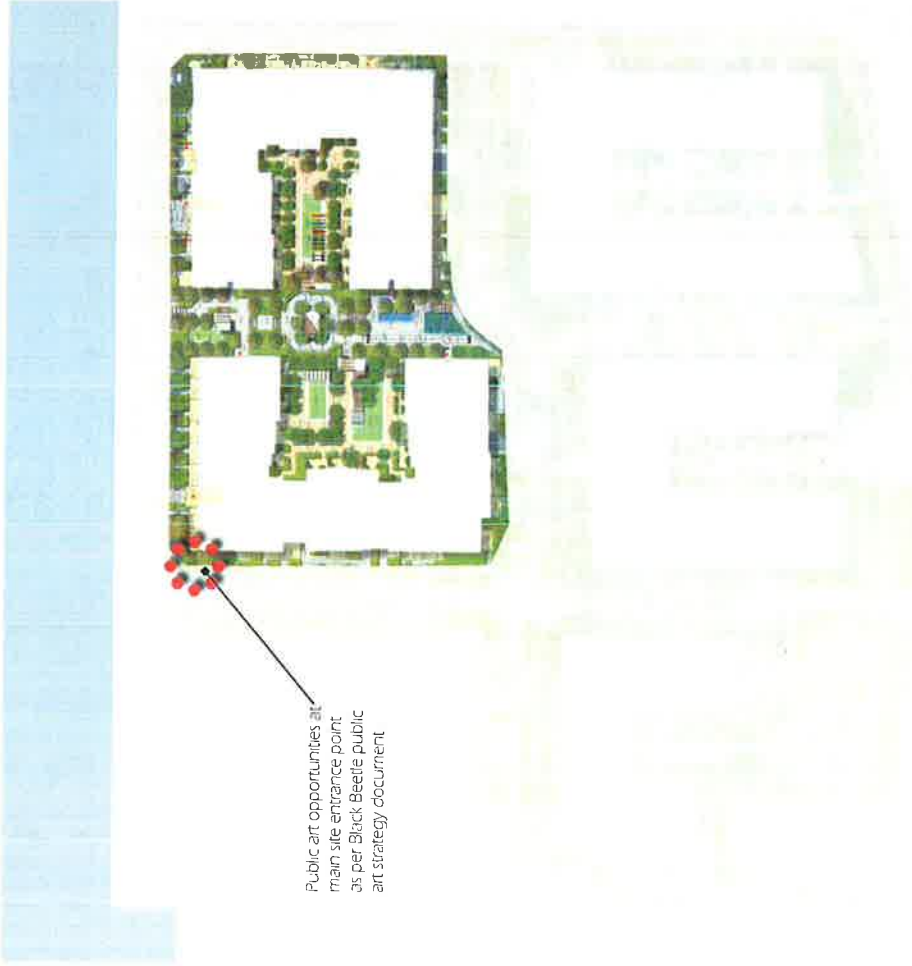
Proposed street lights
Mounted on 9.6m multifunction poles to Council approval. Finish on poles to match existing poles in Belmore Street. Poles to be provided with 1.5m banner arm, Rexel Optspan Aeroscreen luminaires complete with low loss ballasts and PE cells, and metal halide lamps.

Existing street light to be removed
on Nancarrow Street (refer Engineer's drawings)

Existing street lights to be retained
as part of the proposal



public art strategy



Public art opportunities at main site entrance point as per Black Beetle public art strategy document

Location Plan

design intent

The public art strategy applied to Stages 4+5 will aim to trace the rich and diversified history that Meadowbank has enjoyed since settling in 1790. The aim of the public art is to allow users to appreciate how the site has been used over time and transformed into what they see today. This will involve exploring the major uses of the Meadowbank area including its history as a working farm, its connection with water, boating activities and its manufacturing & industrial history. A public art strategy has been prepared by Black Beetle and incorporates all stages of the development. Refer to this document for public art proposals for the corner of Constitution Rd + Hamilton Crescent and other locations within Stages 4-5.

The public art will not be intrusive to users nor the landscape but rather work in a subtle manner and be integrated into the landscape design. It will also attempt to remain in line with the 2006 Art Strategy developed by Ryde City Council, and wherever possible establish strong connections and links with existing and proposed art that forms part of the strategy.

Preliminary studies have brought to the surface numerous possible art work opportunities. The public art, whilst varying in style and character across the site is intended to be in alignment with a holistic narrative.



Example of various art sculptures



Example of modern public sculpture



Example of reflecting industrial heritage



Example of lighting sculpture for landscape



Example of lighting sculpture for landscape

Ref. Ryde DCP 2011 - 4.1.6 Street furniture & public art



Seats (Seat 1)
Urban Seat 11 (aluminium)
Botton and Gardiner Urban Furniture
ph (02) 9667 8100

Bins (Bin 1)
Council's standard double bin

Bollards (Bollard 4)
1300mm high x 150mm dia
16mm thick 316 stainless steel
Core drilled to depth of 400mm
Colorfen Constructions
Ph (02) 9545 4284

Seating Walls
continuous seating integrated into walls
and structures

Trellis (Trellis 1)
Stainless steel uprights 1200mm high at
intervals of 1200mm
Five tensioned wires at 220mm horizontal
intervals
Sub-surface mounted trellis within
planter bed
Concrete footing for each post

Ref: City of Kydo Public Domain & Technical
Manual 5.2

NOTE: Diagram is a strategy only, and is dependent on future detail design for specific information on products and locations



All images from the Public Domain Technical Manual 5.2

The Shepherds Bay Streetscape Character and Tree Species will reflect the character of the site whilst accommodating for the requirements of Council. The functional needs of pedestrians, cyclists and vehicular movements will also be paramount in the design of vehicular carriage ways.

The streetscape character will generally reinforce and enhance the road hierarchy to create subtle but distinctive streetscape precincts. The formal planting of mid to large size trees on Primary Local Roads (Dependant on Council approval) and the introduction of smaller native species on Secondary Local Roads will occur. A combination of both native and hybrid indigenous trees must dominate the selection of street trees to the internal roads.

Streets are to be designed to provide an appropriate level of on street parking with priority given to pedestrians and cyclists to provide a pleasant environment to promote walking and social activity.

Some key points are listed below;

Aspect and Views

- Strong visual associations with existing vegetation communities both native and cultural
- Use of Landmark species to clearly identify entry points into the development
- Strong emphasis to avenue planting with spacings of trees to enable canopies to touch when trees are mature

Accessibility

- Continuity of streetscape character and connectivity to local and recreational paths linking the entire site

Materials

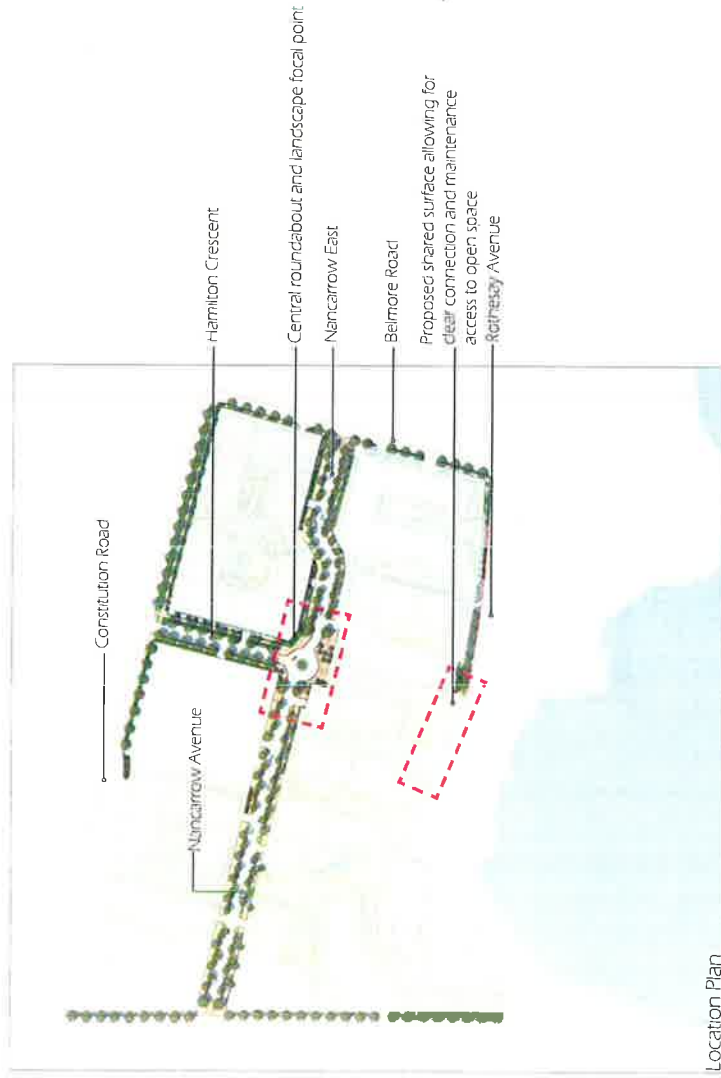
- Pathways will predominantly be robust contemporary materials such as exposed aggregate concrete. All driveway cross overs are to be of the same material in order to ensure visual continuity

Plantings

- Maximise landscaping in all streets while tailoring species selection to that of the local and site context
- Preservation of plantings of culturally significant species to enhance the historic 'sense of place'
- Canopy trees to provide shade and visual amenity
- Low shrub and groundcover planting using a mix of low maintenance plant species

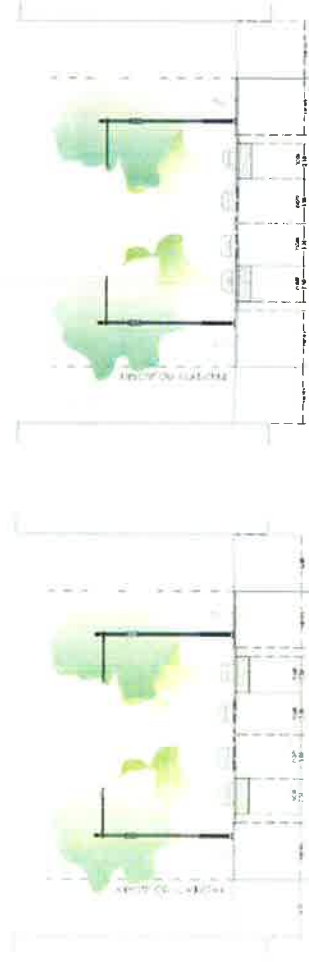
Safety

- All street trees will be carefully selected so that the pedestrian sight lines are well maintained
- Street lighting and feature lighting will also be carefully designed to meet the safety criteria for pedestrian/cycle and car links



Location Plan

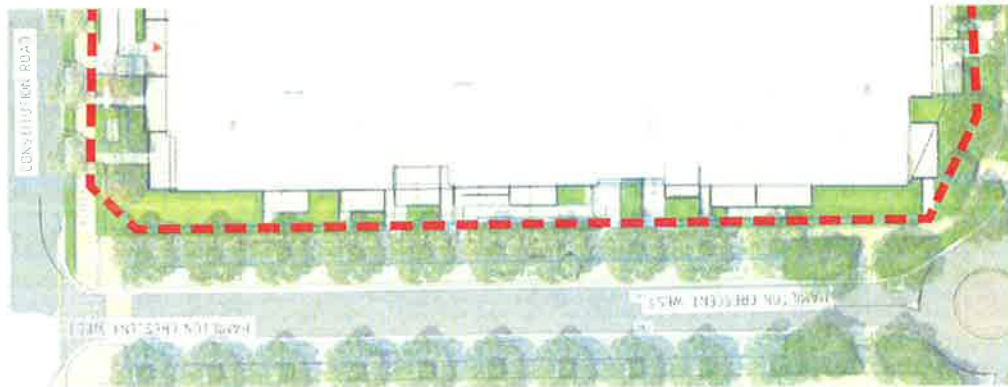
Example of shared surface



Shepherds Bay - Nancarrow Road Section
Ryde City Council Guidelines
Ref - Ryde Public Domain Technical Manual - 5.2

Shepherds Bay - Typical Street Section
Ryde City Council Guidelines
Ref - Ryde Public Domain Technical Manual - 5.2

(excluding Nancarrow Road)



0 5 10 15 20M
SCALE 1:400 @ A3



Pavements Materials Palette— Summary

Footpaths: grey granite paving
Kerb & gutter: in-situ concrete
Carriageway (typical): asphalt
Foreshore pedestrian/cycleway: natural concrete
Thresholds: Australian porphyry stone
Special places: sandstone paving
Tree pits: resin-bound gravel

Footpaths

Main paver: grey granite 600 x 300 x 60mm
& 300 x 300 x 60mm
Banding: grey granite 300 x 300 x
60mm
Concrete compressive strength $\leq 25\text{MPa}$

Thresholds

Australian porphyry stone 100 x 100 x
60mm laid at 30o to kerb
Concrete in-situ kerb

Special places (low pedestrian traffic)

Sandstone paving 600 x 300 x 100mm/Re-constituted
stone

Tree pits and permeable paving

Resin-bound gravel (grey colour)

Pedestrian/cycleways

3m wide natural concrete



Grey granite
paving at
Railway Road,
Meadowbank.



Natural concrete
shared
pedestrian/
cycleway,
Parramatta River
foreshore,
Meadowbank.

Note sandstone
paving provides
a setting for
artworks (special
place).



Australian
porphyry stone
for thresholds.



Sandstone
paving 600 x 300
x 100mm (Ryde
Wharf Park).



All images from Ryde Public Domain Technical Manual - 5.2

Street trees and rain gardens

Fraxinus griffithii (Evergreen Ash)

Planted as street trees on
Railway Road, Meadowbank

Note kerb breaks for stormwater entry.



Rain garden

At the corner of Railway Road
and Constitution Road, Meadowbank



Rain garden

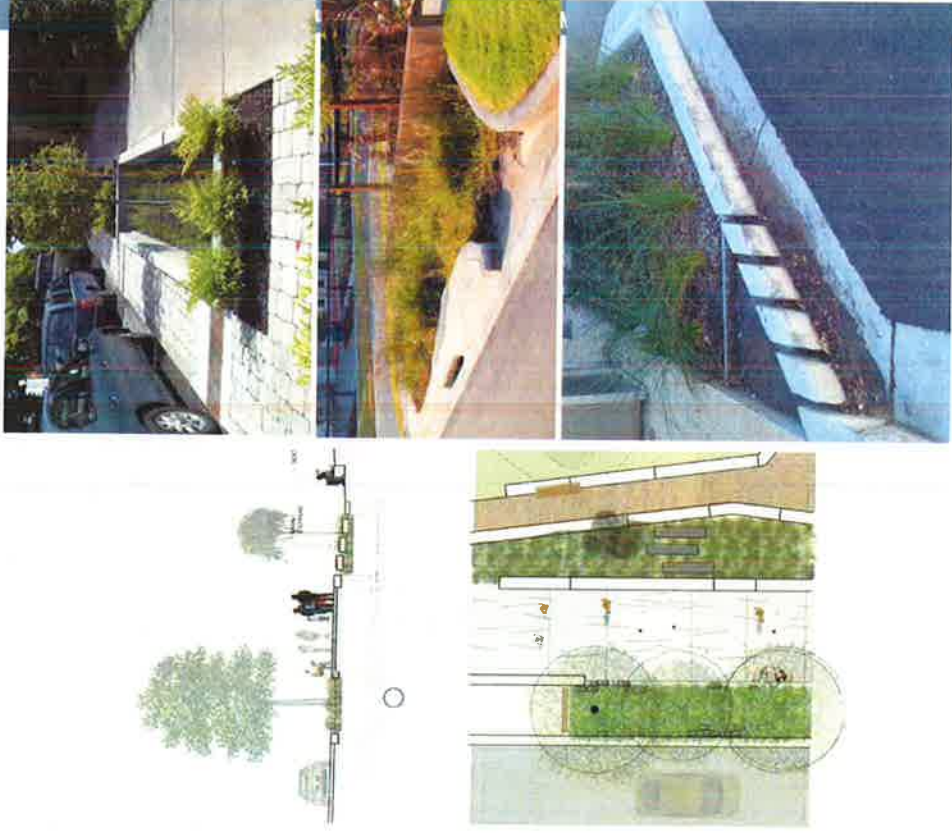
At Meadowbank station entry, east side.



Street trees throughout the site will be reflective of the Meadowbank street tree master plan (Page 32). The street tree design to the site is intended to enhance strong legible links, providing biodiversity and aesthetic consistency across the site, both in streetscapes and site through links

The planting will reference the DCP, Council Public Domain Technical Manual and Council guidelines

Refer to WSUD document for detail on rain gardens. The design of rain gardens will be to Ryde city council specifications and in line with Ryde city council maintenance plan



Stage 4-5 - softscape palette - typical species

- Trees to be retained as per arborist report
- Melaleuca stypheloides
- Street Trees (As per the road package/public domain plan)
- Angophora floribunda



- Street Trees (As per the road package/public domain plan)
- Corymbia maculata

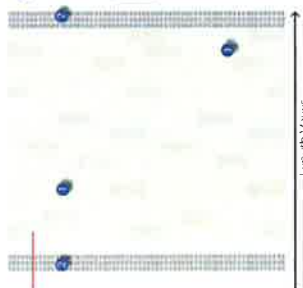
- Street Trees (As per the road package/public domain plan)
- Angophora floribunda
- Magnifolia grandiflora 'Little Gem'
- Tristanopsis laurina

- | | | |
|----------------------------------|-------------------------------|---------------------------|
| Public and Private Domain | Shrubs & Grasses | |
| Evergreen Trees | Acacia panamattensis | Gardenia augusta |
| Angophora costata | Acacia falcata | Grevillea sp |
| Angophora floribunda | Acer platanoides | Juncus pallidus |
| Corymbia maculata | Acer palmatru | Juncus usitatus |
| Cupaniopsis anacardiodes | Agapanthus sp | Kunzea ambigua |
| Ficus hillei | Altenanthera dentata | Lomandra 'Tropic Cascade' |
| Elaeocarpus reticulatus | Banksia serrata | Lomandra 'Katie Belles' |
| Lophostemon confertus | Callistemon 'Better John' | Magnolia grandiflora |
| Magnolia 'Little Gem' | Callistemon 'Macarthur' | Murraya paniculata |
| Magnolia 'Exmouth' | Carex sp | Pennisetum sp |
| Tristanopsis laurina | Cordylone australis 'sunrise' | Poa eskdale |
| Waterhousea floribunda | Cordylone australis 'coral' | Philodendron 'Xanadu' |
| | Dianella sp | Phormium 'Flamin' |
| Deciduous Trees | Dodenaee triquetra | Streptozia sp |
| Lagerstroemia indica | Dodenaee viscosa | Syzygium sp |
| Pistacia chinensis | Doryanthes excelsa | Viburnum odoratissimum |
| Plantanus x Hybrida | Fraxinus ornus | Westringia fruticosa |
| Pyrus calleryana | | Westringia aussie box |
| Sapium serbiferum | | |
| Ulmus parvifolia | | |



Hardscape materiality

typical proposed limestone / re-constituted stone paving in public and private domain



type 1 Main Pavement
Stone: Type 1 Limestone
Colour: Light Grey
Finish: Natural
Size: 600x300x40mm

type 2 Banding
Stone: Porphyry Cobble
Colour: Grey
Finish: Split
Size: 400x400x40mm

typical proposed sandstone / re-constituted stone paving in public and private domain



type 1 Main Pavement
Stone: Type 1 Sandstone
Colour: Light Wood
Finish: Sandblasted
Size: 600x300x40mm

type 2 Banding
Stone: Type 2 Sandstone
Colour: Light Wood
Finish: Sandblasted
Size: 600x300x40mm

type 3 Feature Banding
Stone: Type 3 Porphyry Sails
Size: 100x100x40mm
Finish: Sandblasted

Sequence Repeated

Pavement

- 1 Grey granite / limestone pavers 600x300x60 + 300x300x60mm (Ryde PDIM)
- 2 Bitumen as per Councils instruction
- 2a Concrete Threshold ramps (as per engineer's details)
- 3 Black Asphalt (Ryde PDIM)
- 4 Precast high quality concrete / limestone pavers / re-constituted stone with sand stone poppy banding and header course to building entries
- 5 Mixed colour sandstone paving / re-constituted stone to private courtyards 600x300x60mm



Walling

- 6 White concrete staircases/slopes to edges of lawns + southern entrance
 - 7 Reconstituted timber deck
 - 8 Concrete Pavers to Private Courtyard
 - 9 Resin bound gravel to base of trees (as per Ryde Public Domain Plan)
 - 10 Standard concrete to shared 2.5m wide cycleway (as per Ryde Public Domain Plan)
- Walling
- Sandstone clad walls (height varies between 650-900mm)
 - Insitu / Precast white concrete wall
 - Blade signage wall with column steel signage element

Meadowbank street tree master plan

The plan shows the intended tree species to be used in the development. Existing street trees will be assessed on an individual basis to retain if possible. The suitability of the species listed below will also be considered at the detailed design stage and discussed with Council.

LEGEND:

	<i>Corymbia maculata</i> (Spotted Gum)
	<i>Angophora costata</i> (Sydney Red Gum)
	<i>Cupaniopsis anacardioides</i> (Tuckeroo)
	<i>Magnolia grandiflora</i> ('Little Gem')
	<i>Fraxinus griffithii</i> (Evergreen Ash) <i>Fraxinus oxycarpa</i> (Raywood) (Claret Ash)
	<i>Syncarpia glomulifera</i> (Turpentine)
	<i>Melaleuca</i> sp. (Paperbarks)
	<i>Angophora floribunda</i> (Rough-barked apple)

NOTE:

- All existing street trees will be assessed in light of this plan and retained if appropriate.
- Additional trees have been added to streetscapes along Narcarrow to consistency and to provide a change in character in the WSUD beds.

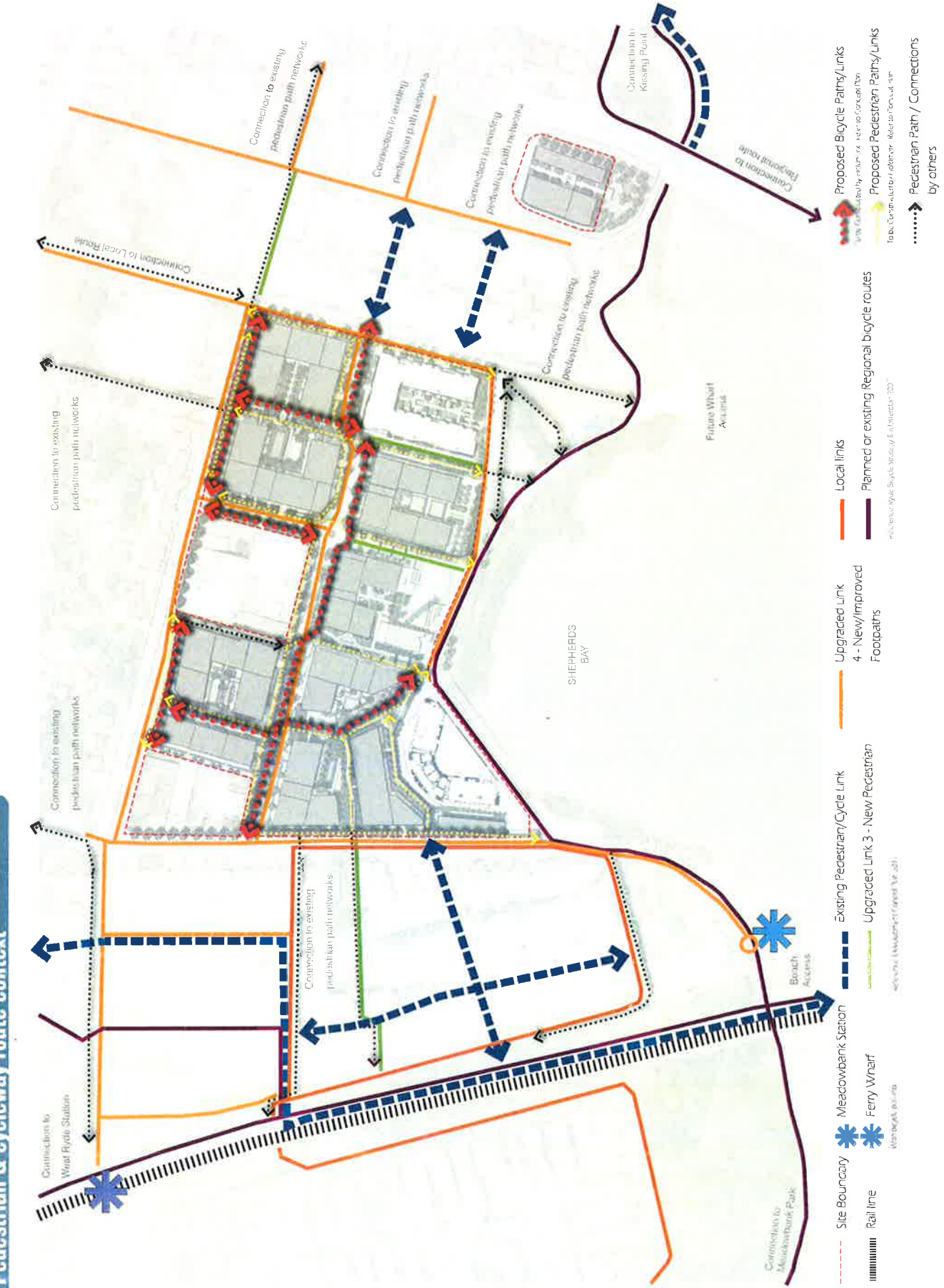


Pedestrian & cycleway route context

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place
 design
 group



SCALE 1:3000 @ A3
 0 50 100 150 200M

